

Roof Recovery Collin County Justice Center 4300 Community Ave. McKinney, Texas

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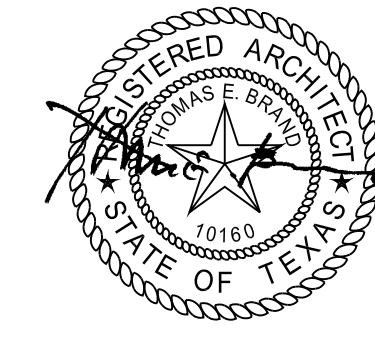
Project Team

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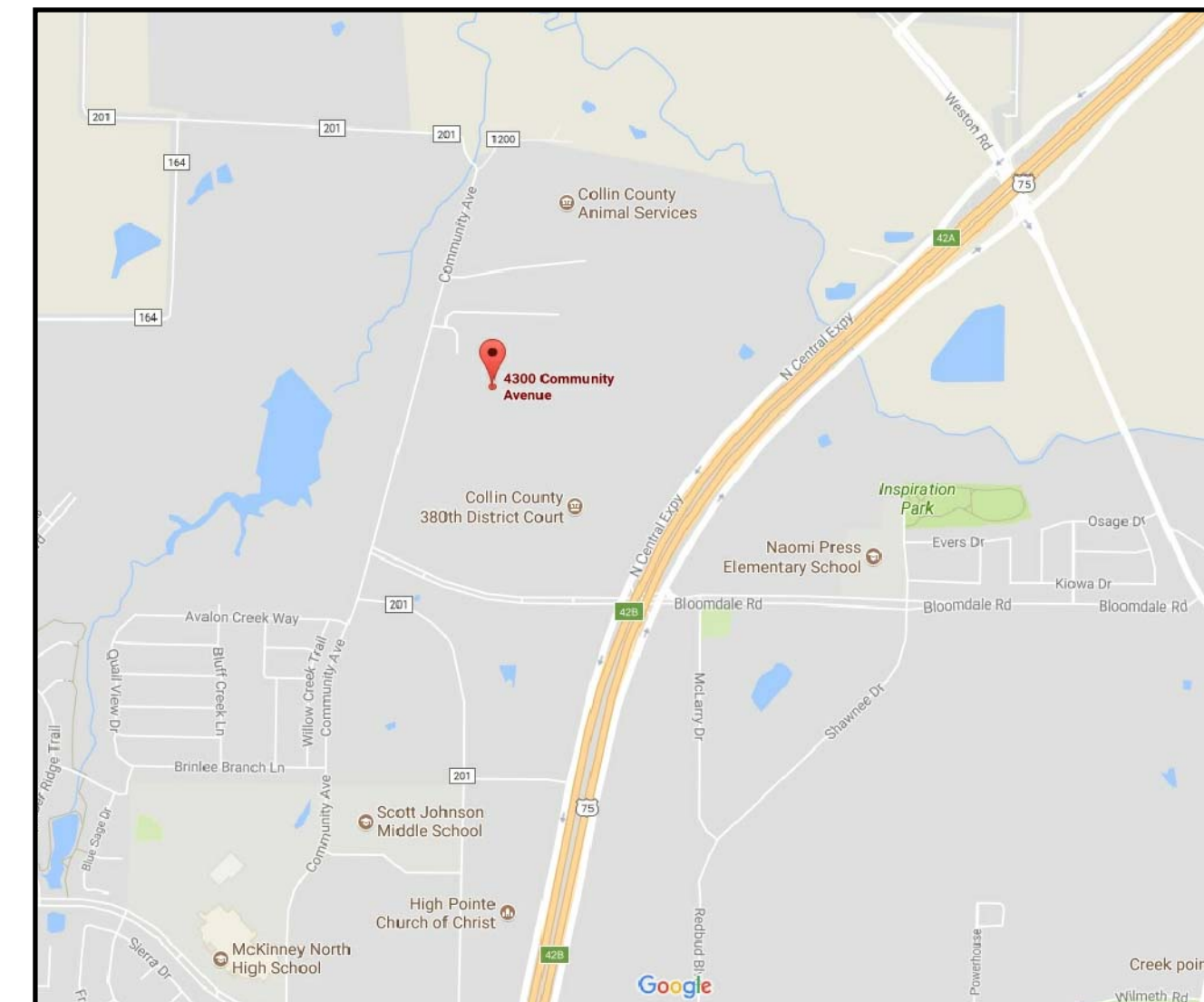


Date of Signing October 13, 2017

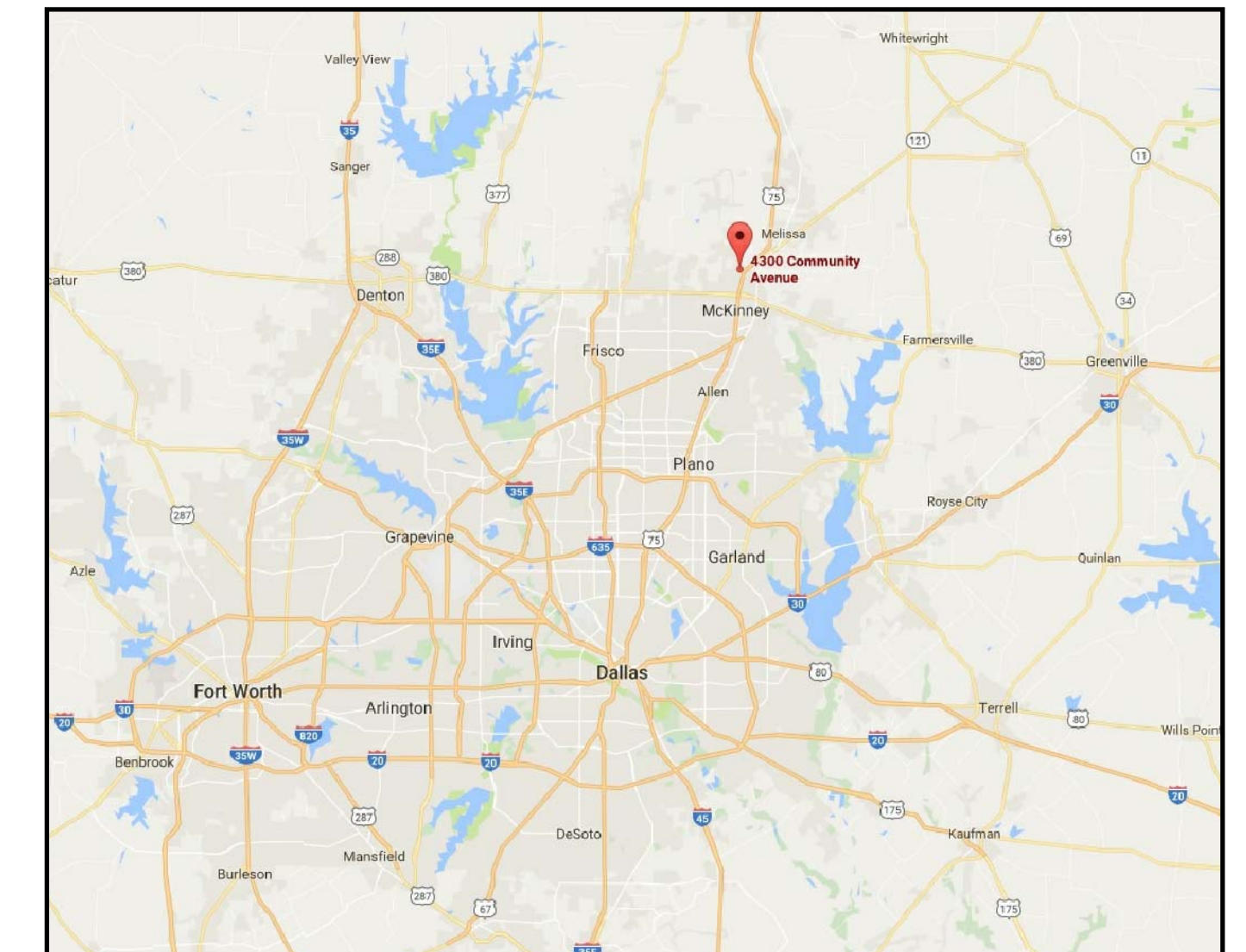
**Issue for Construction 08-28-17
Addendum 2 10-13-17**

General Information

- PLEASE REFER INFRARED MOISTURE SCAN REPORT DATED 05-24-17. THERE ARE MULTIPLE ROOF AREAS SHOWN THAT APPEAR TO HAVE MOISTURE-DAMAGED ROOF INSULATION UNDERNEATH THE EXISTING ROOF MEMBRANE. THESE AREAS ARE NOTED ON THE DEMOLITION PLANS. FOR BIDDING PURPOSES, ASSUME 30% OF THE EXISTING ROOFING AND INSULATION WILL BE REMOVED AND REPLACED. LOG THE AMOUNT REPLACED DAILY AND UPON COMPLETION THE CONSTRUCTION COST WILL BE ADJUSTED BASED ON THE ACTUAL PERCENTAGE REPLACED. REFER BID DOCUMENTS FOR FURTHER INFORMATION.



Area Map



Location Map

Demolition Plan General Notes

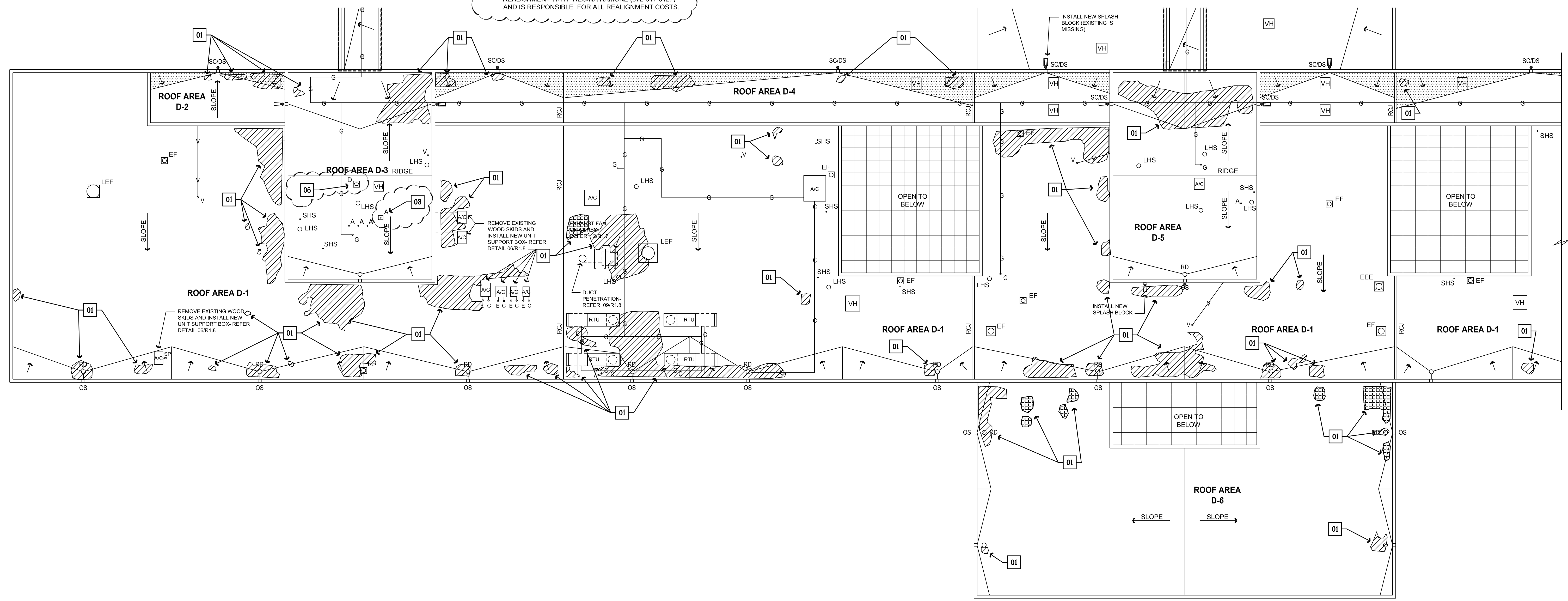
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- ROOF DEMOLITION
 - ALL ROOF AREAS (EXCEPT AS NOTED BELOW):
 - REMOVE AND REPLACE EXISTING ROOFING AND INSULATION IN AREAS DESIGNATED ON PLAN BY KEYNOTE 01.
 - REMOVE ROOFING IN AREAS DESIGNATED ON PLAN BY KEYNOTE 02, INSTALL NEW INSULATION TO CREATE POSITIVE DRAINAGE AND INSTALL NEW ROOFING.
 - SCRAPE AND REMOVE EXISTING LOOSE GRANULES FROM EXISTING CAP SHEET.
 - CUT OUT ALL EXISTING RIDGES, BUMPS AND BLISTERS FROM EXISTING ROOF MEMBRANE.
 - REMOVE ALL EXISTING BASE FLASHINGS AND PREPARE SURFACES TO RECEIVE NEW BASE FLASHINGS.
 - REMOVE ALL SHEET METAL COUNTER FLASHINGS.
 - PREPARE COPINGS FOR INSTALLATION OF NEW MEMBRANE.
 - REMOVE ALL EXISTING SHEET METAL "CONES" FROM BASE OF ROOF PENETRATIONS.
 - ROOF TOP HVAC UNITS: RAISE CURB HEIGHTS AS REQUIRED TO PROVIDE MINIMUM 8" FLASHING HEIGHT. WORK TO INCLUDE DISCONNECT OF EXISTING ELECTRICAL CONNECTIONS, GAS PIPING AND CONDENSATE LINES. EXTEND AND RECONNECT ELECTRICAL, GAS AND CONDENSATE CONNECTIONS. PROVIDE 48 HOUR NOTICE TO OWNER PRIOR TO TAKING ANY UNIT OUT OF SERVICE.
 - GAS PIPING, ELECTRICAL CONDUITS AND CONDENSATE DRAIN PIPING: RAISE SUCH PIPING TO ACCOMMODATE THE INSTALLATION OF NEW ROOF SYSTEM. RECONNECT SUCH PIPING AS REQUIRED TO PROVIDE FUNCTIONING SYSTEM. INSTALL PIPE SUPPORTS AS SPECIFIED. PROVIDE 48 HOUR NOTICE TO OWNER PRIOR TO REMOVING AND RAISING CONDUITS AND PIPING.
 - REFER SPECIFICATIONS FOR PRICING ALTERNATE REGARDING CLEANING, PRIMING AND PAINTING OF GAS PIPING, HOT STACKS AND EMERGENCY ENGINE EXHAUST.
 - REPLACE ANY EXISTING BROKEN/ LEAKING CONDENSATE DRAIN LINES WITH NEW PVC LINES BACK TO HVAC UNIT.
- ROOF AREAS A7, A8, B9, B10, C7 AND C8:
 - REMOVE EXISTING ROOFING, INSULATION AND ROOF FLASHINGS DOWN TO EXISTING DECK.

Demolition Plan Keynotes

- 01 AREA OF PROBABILITY OF MOISTURE-DAMAGED ROOFING INSULATION (REFER INFRARED MOISTURE SCAN REPORT DATED 05-24-17)- REMOVE EXISTING ROOFING AND INSULATION BACK TO EDGE OF COMPLETELY DRY EXISTING INSULATION. REFER DETAIL 01/R1.8 FOR INSULATION AND ROOFING INFILL TO REPAIR AREA.
- 02 AREA OF PROBABILITY OF PONDING WATER ON TOP OF EXISTING ROOFING (REFER INFRARED MOISTURE SCAN REPORT DATED 05-24-17)- REMOVE EXISTING ROOFING. ADD NEW INSULATION TO CREATE POSITIVE SLOPE-TO-DRAIN AND INSTALL NEW ROOFING PLIES. REFER DETAIL 02/R1.8.
- 03 EXISTING TALL TV ANTENNA, BASE, BALLAST BLOCKS AND GUY WIRES TO BE REMOVED AND DISPOSED OF BY CONTRACTOR.
- 04 EXISTING DISH, BASE AND BALLAST BLOCKS TO BE REMOVED AND DISPOSED OF BY CONTRACTOR.
- 05 EXISTING TV DISH TO BE TEMPORARILY MOVED AND RESET BY CONTRACTOR AFTER ROOFING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING REALIGNMENT WITH "DISH NETWORK" AND IS RESPONSIBLE FOR ALL REALIGNMENT COSTS.
- 06 EXISTING TV DISH TO BE TEMPORARILY MOVED AND RESET BY CONTRACTOR AFTER ROOFING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING REALIGNMENT WITH "REGINA RAMONE (972-547-5127)" AND IS RESPONSIBLE FOR ALL REALIGNMENT COSTS.
- 07 EXISTING TV DISH TO BE TEMPORARILY MOVED AND RESET AFTER ROOFING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING REALIGNMENT WITH "DIRECT TV" AND IS RESPONSIBLE FOR ALL REALIGNMENT COSTS.

Legend

	PROBABLE WET INSULATION AREA		EXISTING SKYLIGHT		ROOFING CONTROL JOINT
	POSSIBLE WET INSULATION AREA		EXISTING CURB MOUNTED EXHAUST FAN		SCUPPER/ DOWNSPOUT
	AREA OF ROOF WATER PONDING		EXISTING CURB MOUNTED LARGE EXHAUST FAN		EXISTING OVERFLOW SCUPPER
	KEYNOTE- REFER "DEMOLITION PLAN KEYNOTES"		EMERGENCY ENGINE EXHAUST		EXISTING ROOF DRAIN
	EXISTING VENT PENETRATION		EXISTING A/C UNIT		EXISTING LADDER
	EXISTING ANTENNA		EXISTING ROOFTOP UNIT		AREA NOT IN SCOPE
	EXISTING CONDUIT PENETRATION		EXISTING VENT HOOD		DIRECTION OF ROOF SLOPE
	EXISTING INSULATED COOLANT LINE PENETRATION		EXISTING PIPE HOOD		ROOF CRICKET
	GAS LINE PENETRATION		EXISTING ROOF HATCH		EXISTING RADAR DISH- RELOCATE TEMPORARILY UNTIL ROOFING IS COMPLETE
	EXISTING SMALL HOT STACK PENETRATION				
	EXISTING LARGE HOT STACK PENETRATION				
	EXISTING INSULATED PIPE PENETRATION				
	EXISTING CONDUIT IN SEALANT PAN				



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REGISTERED ARCHITECT
 STATE OF TEXAS
 10163

Date of Signing: October 13, 2017

Roof Recovery
 Collin County Justice Center
 for Collin County
 McKinney, Texas

Drawn By	TW
Checked By	TB
Revisions	
ADDENDUM 2	10-13-17

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Sheet Title
Demolition Plan - Areas D1-D6

Project Number	46-17026N
Scale:	AS NOTED
Date	08/28/17

Demolition Plan General Notes

- PLEASE REFER INFRARED MOISTURE SCAN REPORT DATED 05-24-17. THERE ARE MULTIPLE ROOF AREAS SHOWN THAT APPEAR TO HAVE MOISTURE-DAMAGED ROOF INSULATION UNDERNEATH THE EXISTING ROOF MEMBRANE. THESE AREAS ARE NOTED ON THE DEMOLITION PLANS. FOR BIDDING PURPOSES, ASSUME 30% OF THE EXISTING ROOFING AND INSULATION WILL BE REMOVED AND REPLACED. LOG THE AMOUNT REPLACED DAILY AND UPON COMPLETION THE CONSTRUCTION COST WILL BE ADJUSTED BASED ON THE ACTUAL PERCENTAGE REPLACED. REFER BID DOCUMENTS FOR FURTHER INFORMATION.
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Demolition Plan Keynotes

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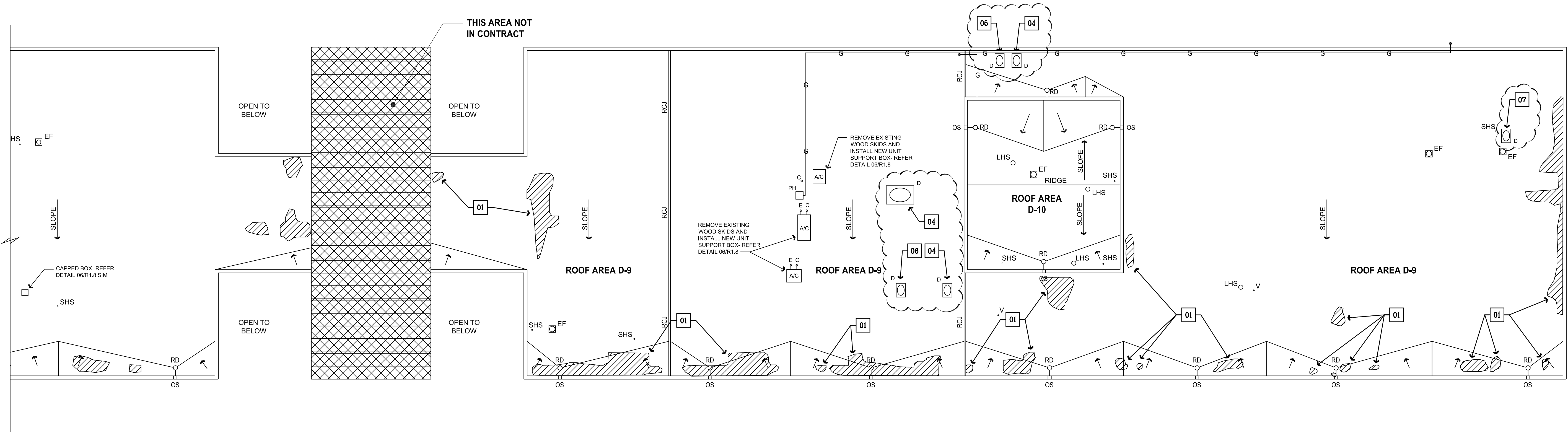
Legend

- | | | | | | |
|--|---------------------------------------------|--|-----------------------------------------|--|---------------------------------------------------------------------|
| | PROBABLE WET INSULATION AREA | | EXISTING SKYLIGHT | | ROOFING CONTROL JOINT |
| | POSSIBLE WET INSULATION AREA | | EXISTING CURB MOUNTED EXHAUST FAN | | SCUPPER/ DOWNSPOUT |
| | AREA OF ROOF WATER PONDING | | EXISTING CURB MOUNTED LARGE EXHAUST FAN | | EXISTING OVERFLOW SCUPPER |
| | KEYNOTE- REFER "DEMOLITION PLAN KEYNOTES" | | EMERGENCY ENGINE EXHAUST | | EXISTING ROOF DRAIN |
| | EXISTING VENT PENETRATION | | EXISTING A/C UNIT | | EXISTING LADDER |
| | EXISTING ANTENNA | | EXISTING ROOFTOP UNIT | | AREA NOT IN SCOPE |
| | EXISTING CONDUIT PENETRATION | | EXISTING VENT HOOD | | DIRECTION OF ROOF SLOPE |
| | EXISTING INSULATED COOLANT LINE PENETRATION | | EXISTING PIPE HOOD | | ROOF CRICKET |
| | GAS LINE PENETRATION | | EXISTING GAS PIPING | | EXISTING RADAR DISH- RELOCATE TEMPORARILY UNTIL ROOFING IS COMPLETE |
| | EXISTING SMALL HOT STACK PENETRATION | | EXISTING HVAC CONDENSATE LINES | | |
| | EXISTING LARGE HOT STACK PENETRATION | | EXISTING ROOF HATCH | | |
| | EXISTING INSULATED PIPE PENETRATION | | | | |
| | EXISTING CONDUIT IN SEALANT PAN | | | | |

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REGISTERED ARCHITECT
 STATE OF TEXAS
 19163

Date of Signing: October 13, 2017



01 Enlarged Roof Demo Plan - Roof Areas D9, D10
 Scale: 1/16" = 1'-0"

Roof Recovery
 Collin County Justice Center
 for Collin County
 McKinney, Texas

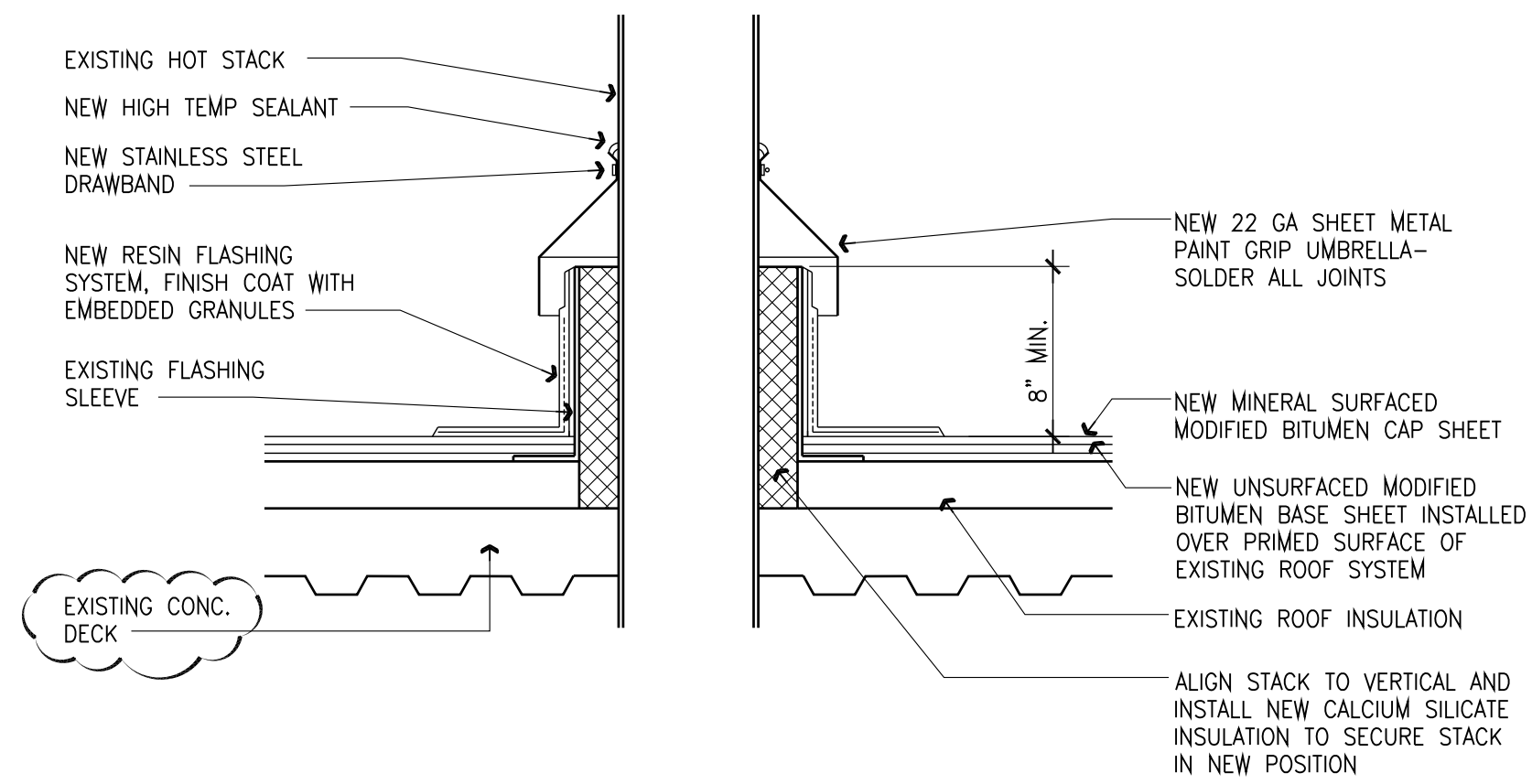
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 Checked By TB
 Revisions
 ADDENDUM 2 10-13-17

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Sheet Title
Demo Plan- Areas D9, D10

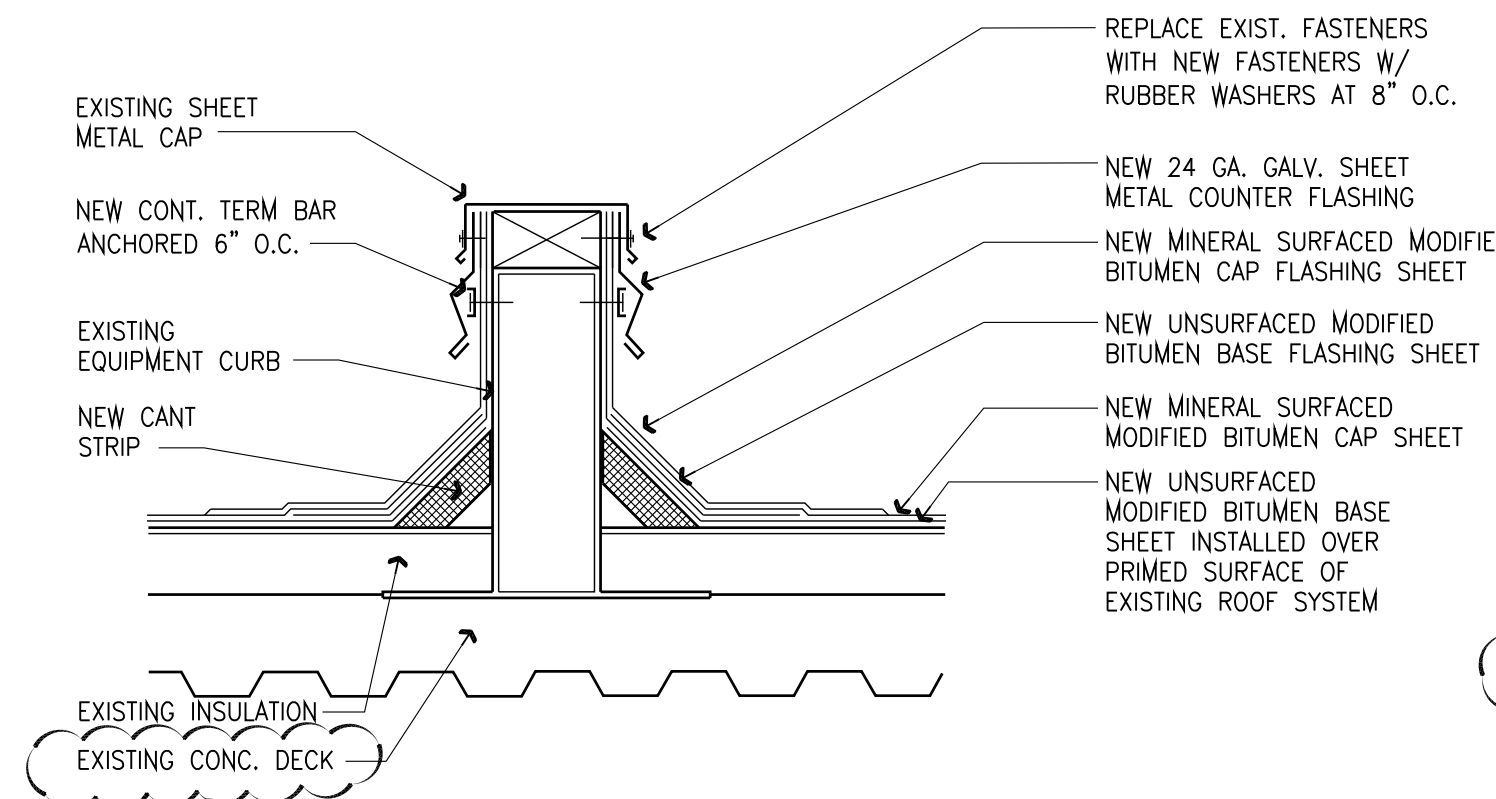
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Sheet No. **D1.6**
 07 of 21 Sheets

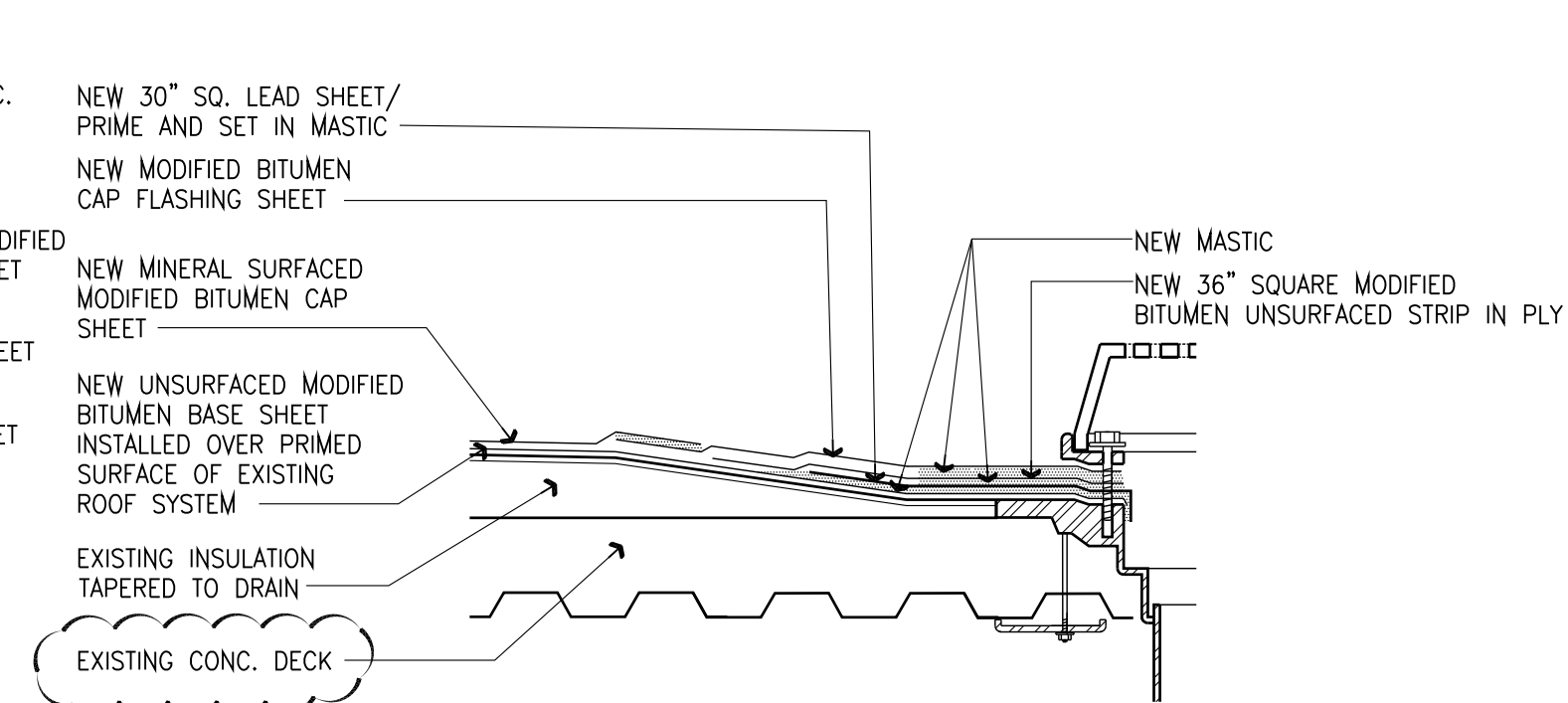


13 Large Hot Stack Detail
Scale: 1-1/2" = 1'-0"

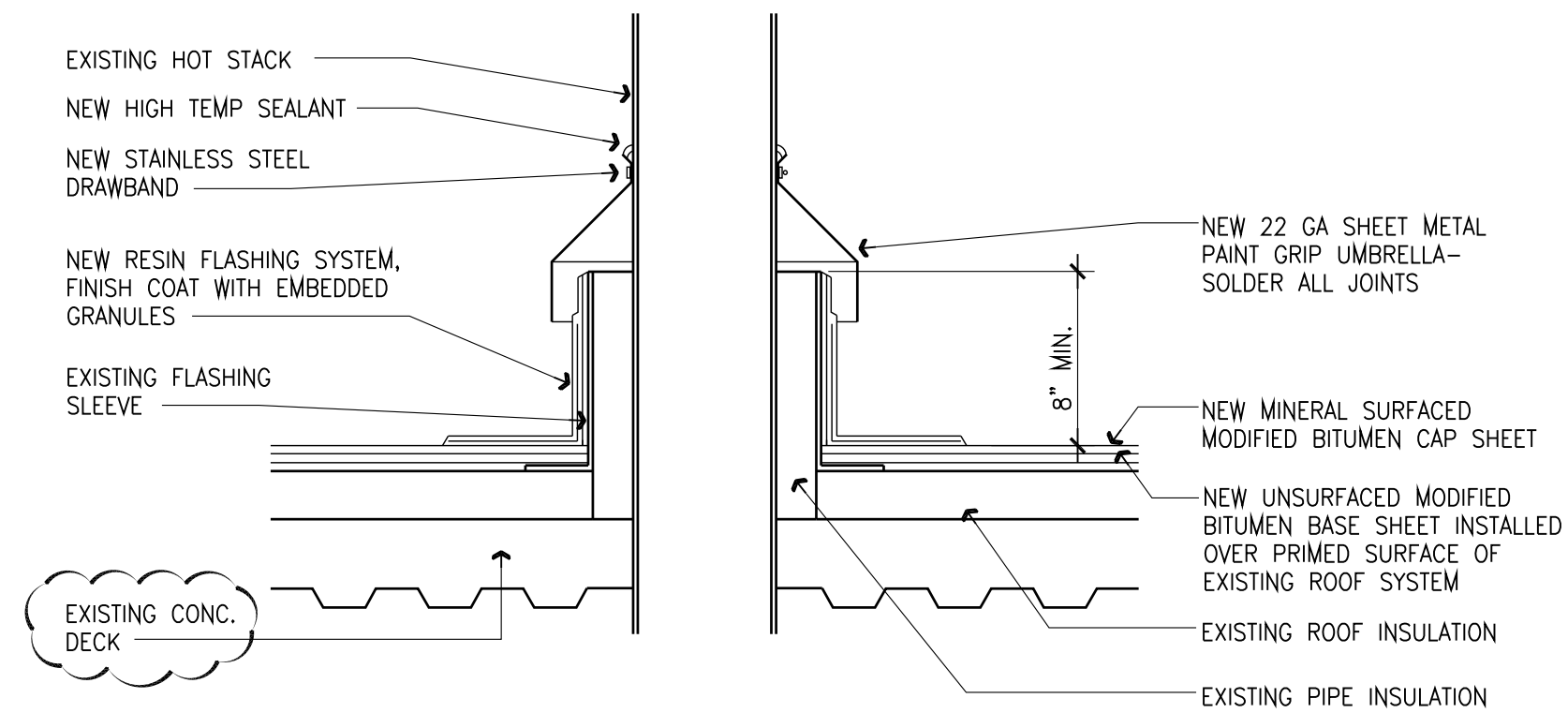
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12 Prefabricated Curb Detail
Scale: 1-1/2" = 1'-0"

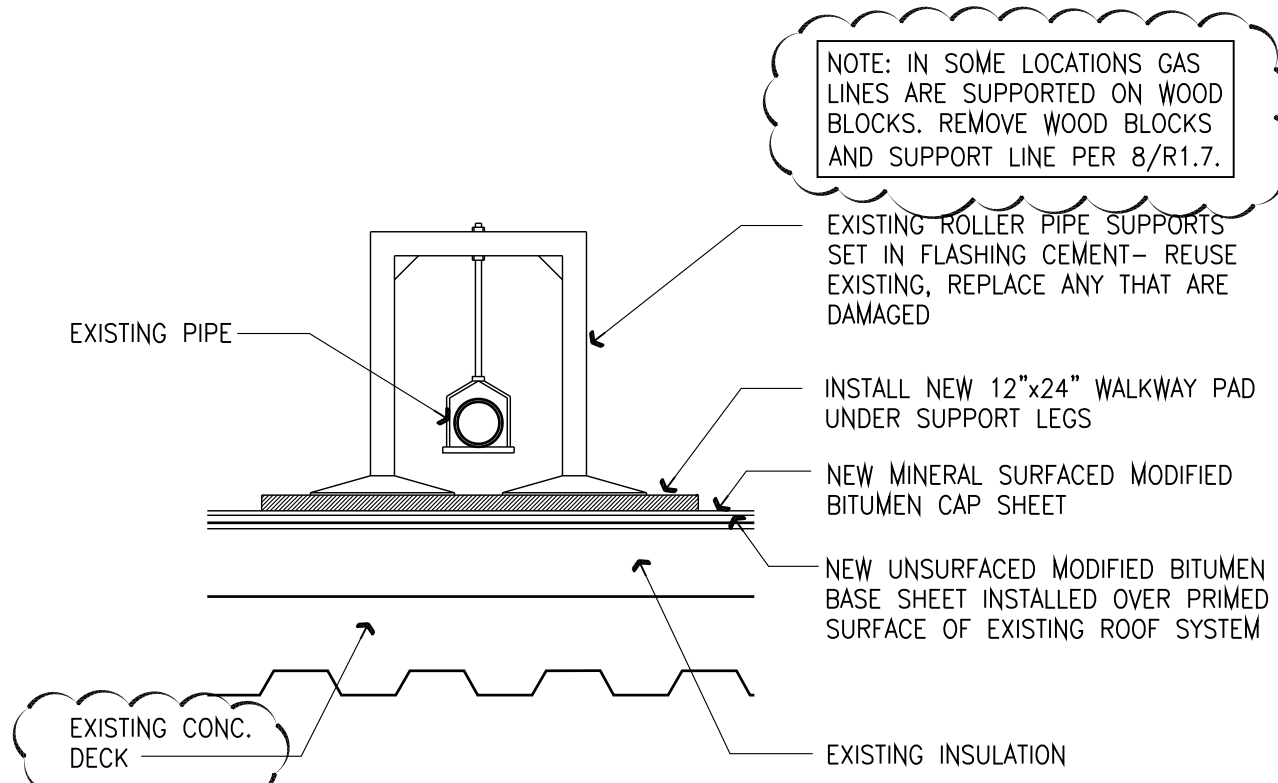


11 Roof Drain Flashing Detail
Scale: 1-1/2" = 1'-0"

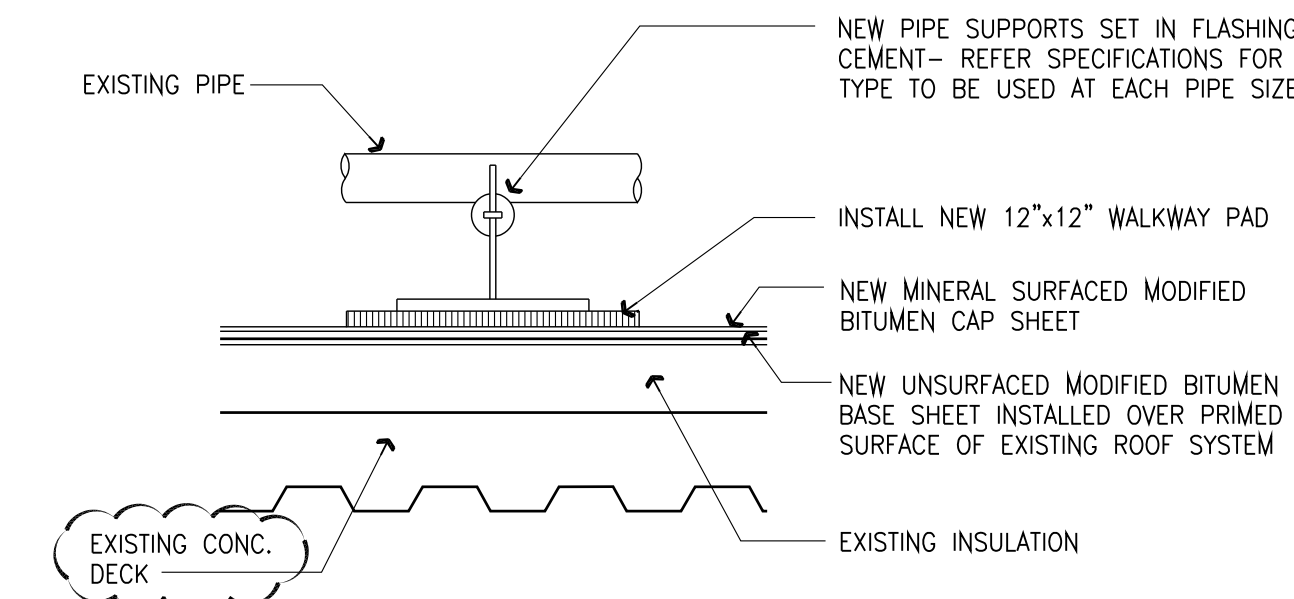


10 Small Hot Stack Detail
Scale: 1-1/2" = 1'-0"

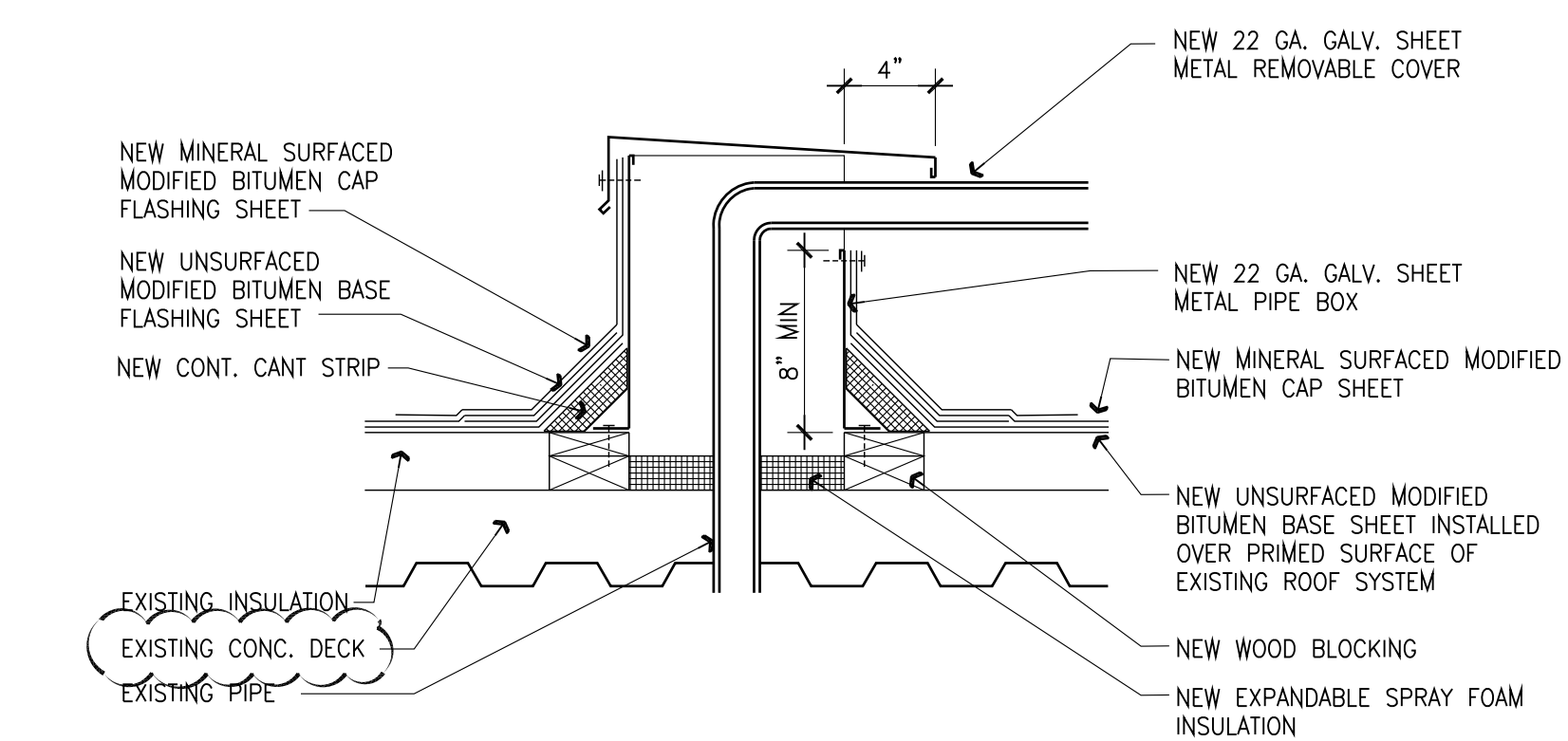
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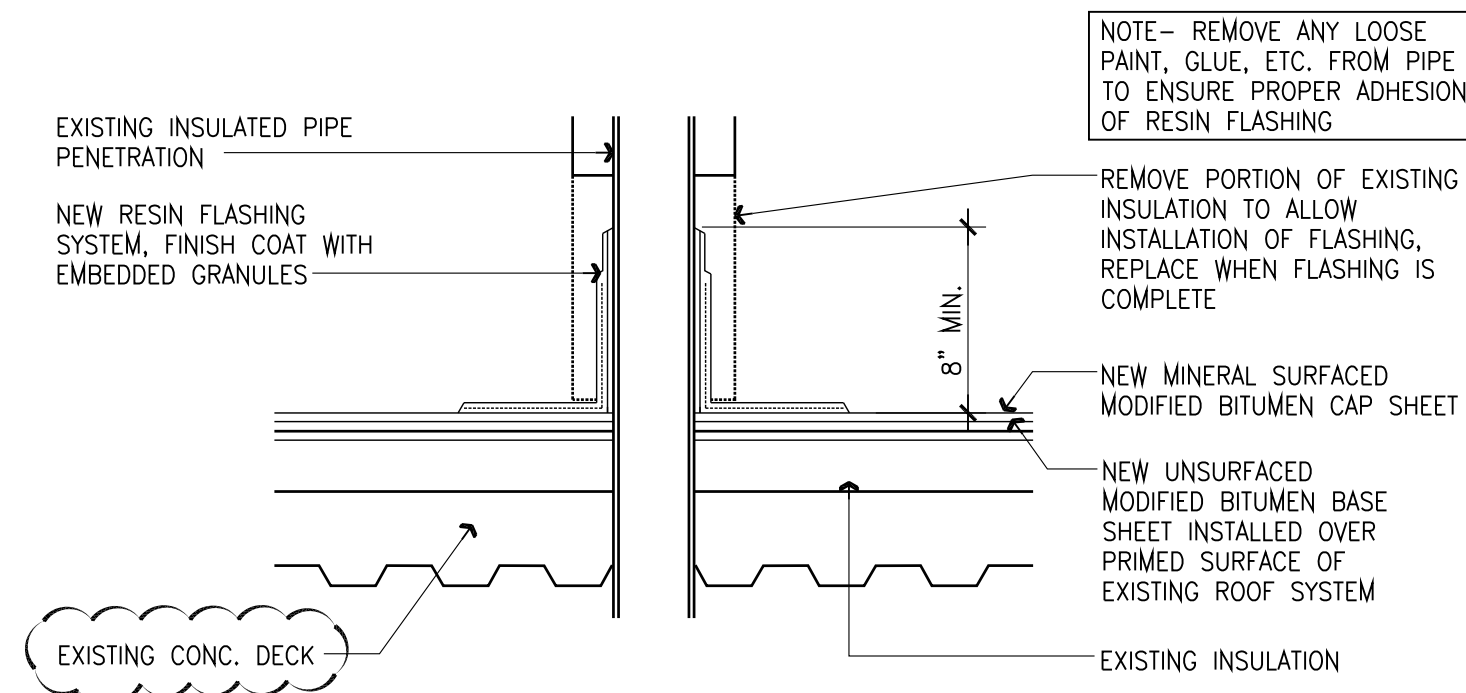
09 Pipe Roller Support Detail
Scale: 1-1/2" = 1'-0"



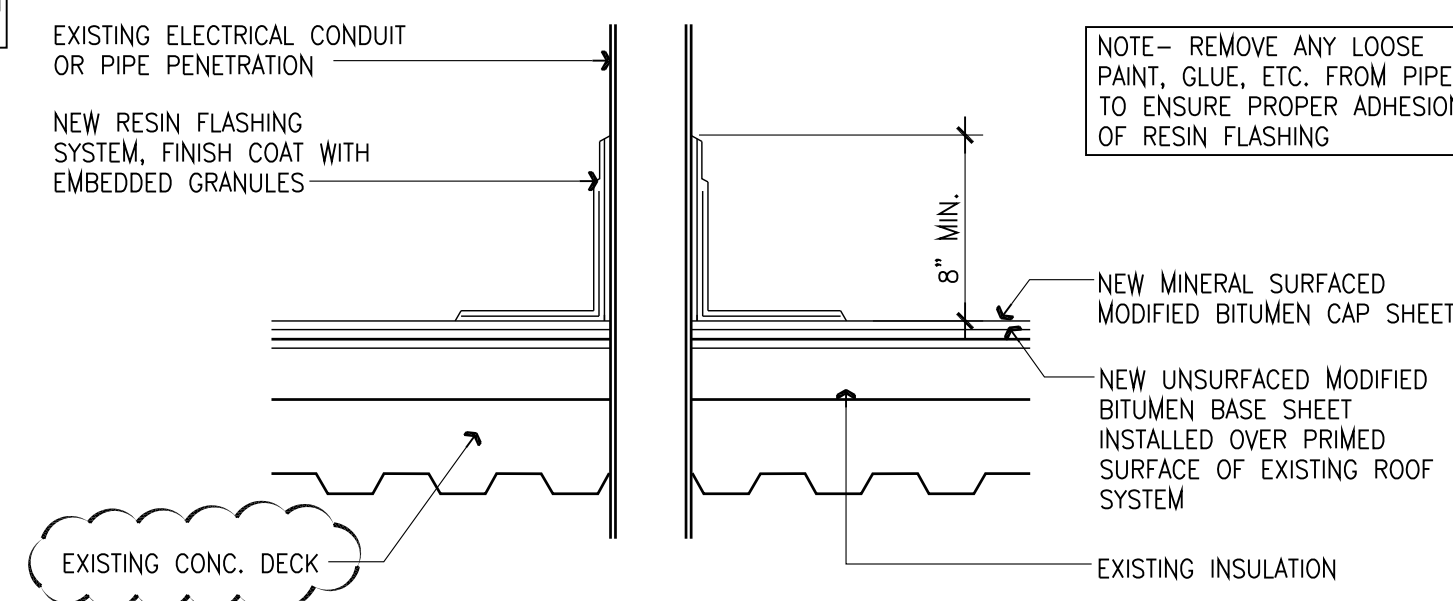
08 Pipe Molded Support Detail
Scale: 1-1/2" = 1'-0"



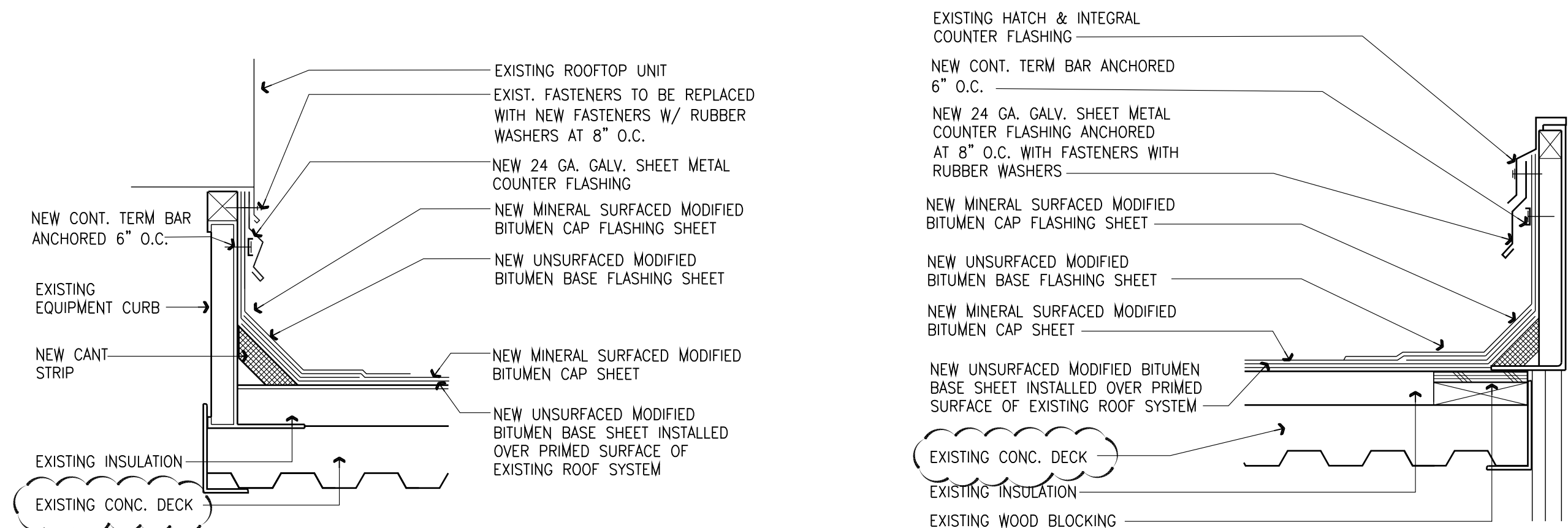
07 Pipe Penetration Hood Detail
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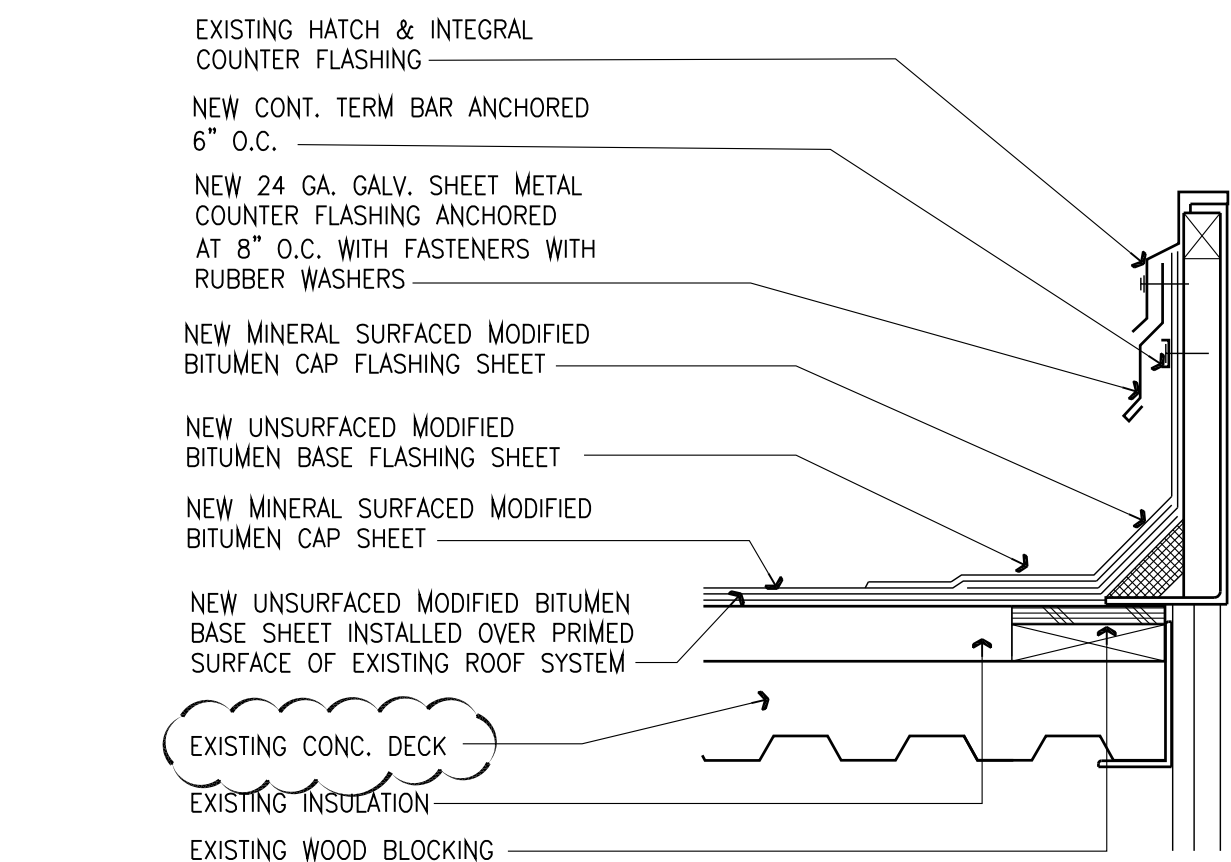
06 Insulated Pipe Flashing Detail
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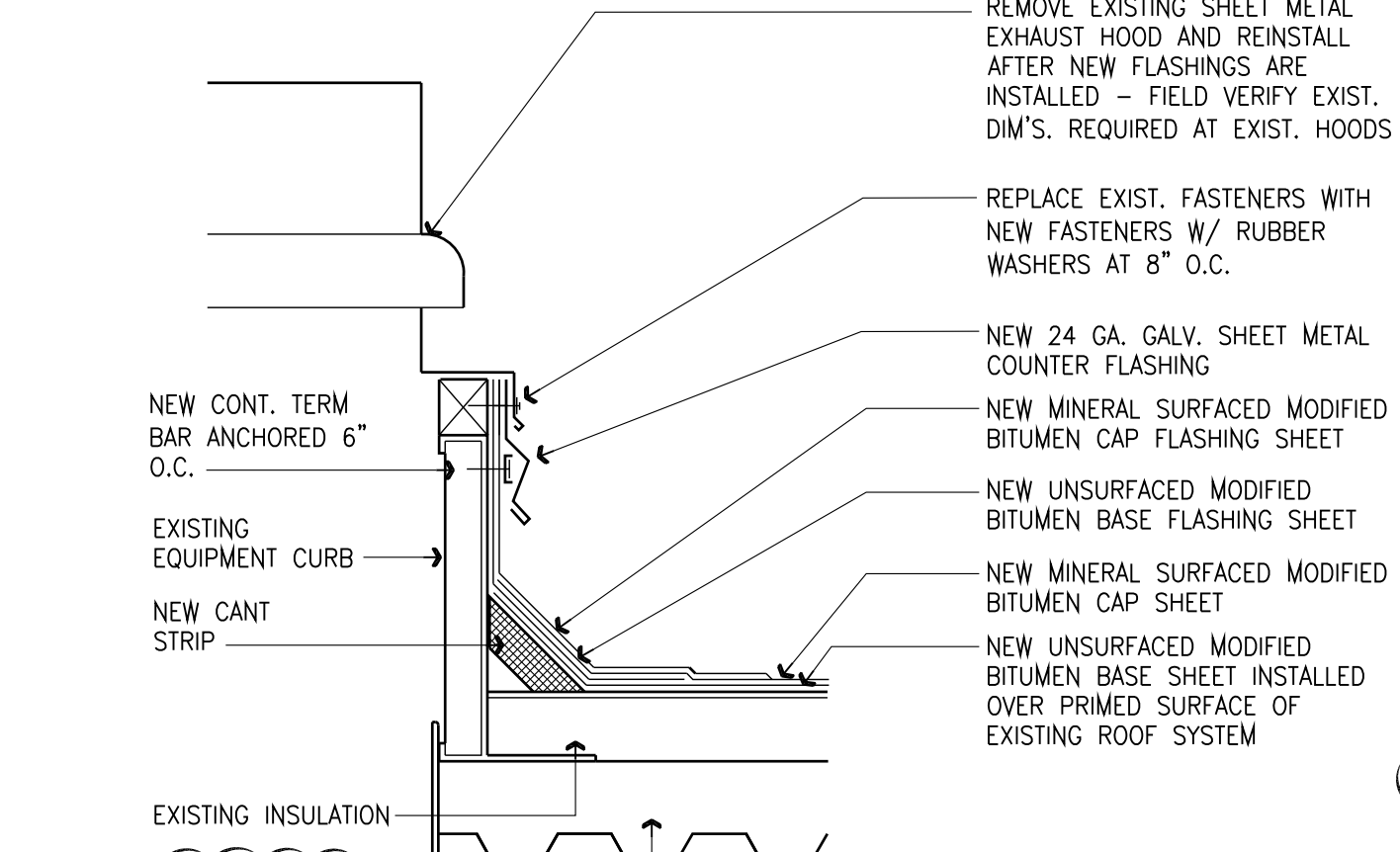
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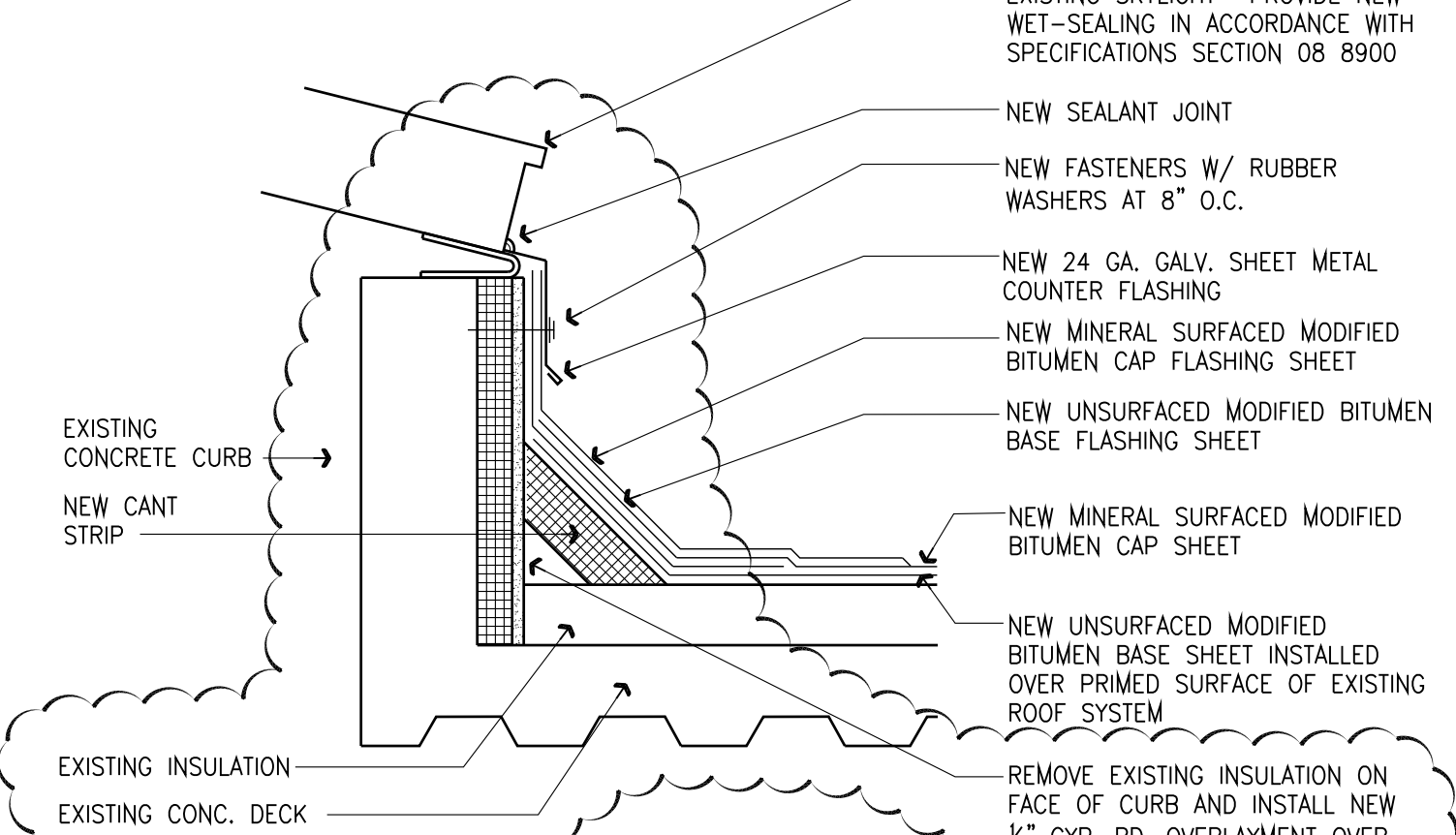
04 Equipment Curb Flashing Detail
Scale: 1-1/2" = 1'-0"



03 Roof Hatch Curb Flashing Detail
Scale: 1-1/2" = 1'-0"



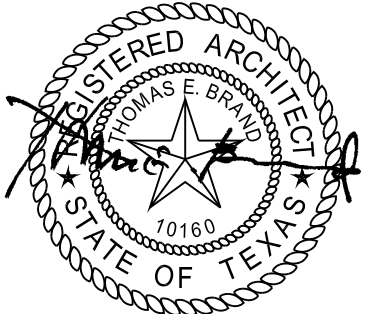
02 Exhaust Fan Curb Flashing Detail
Scale: 1-1/2" = 1'-0"



01 Skylight Curb Flashing Detail
Scale: 1-1/2" = 1'-0"

DryTec

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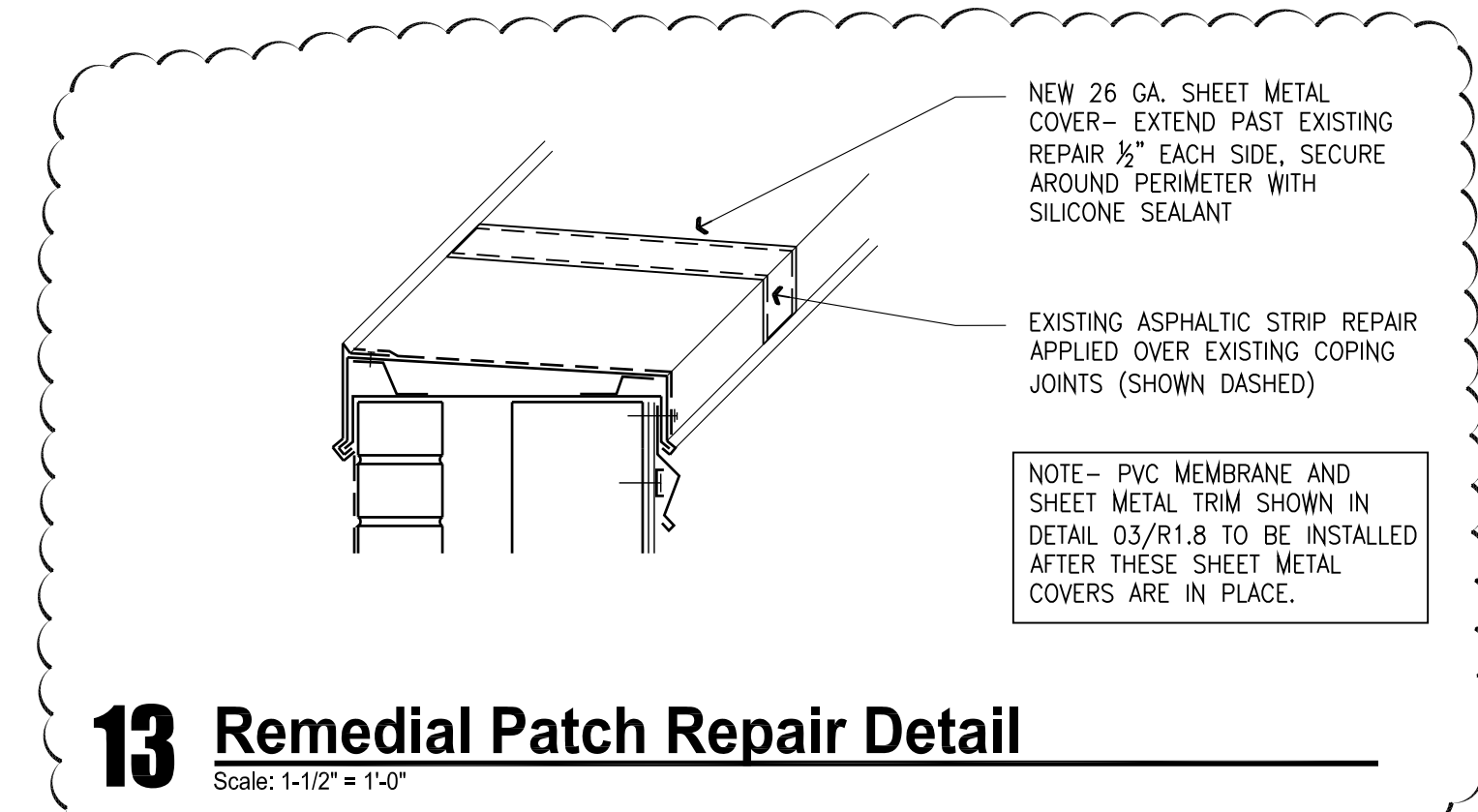
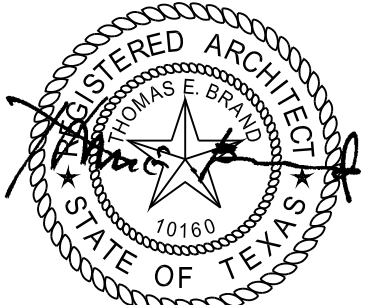
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Sheet Title
Roof Details

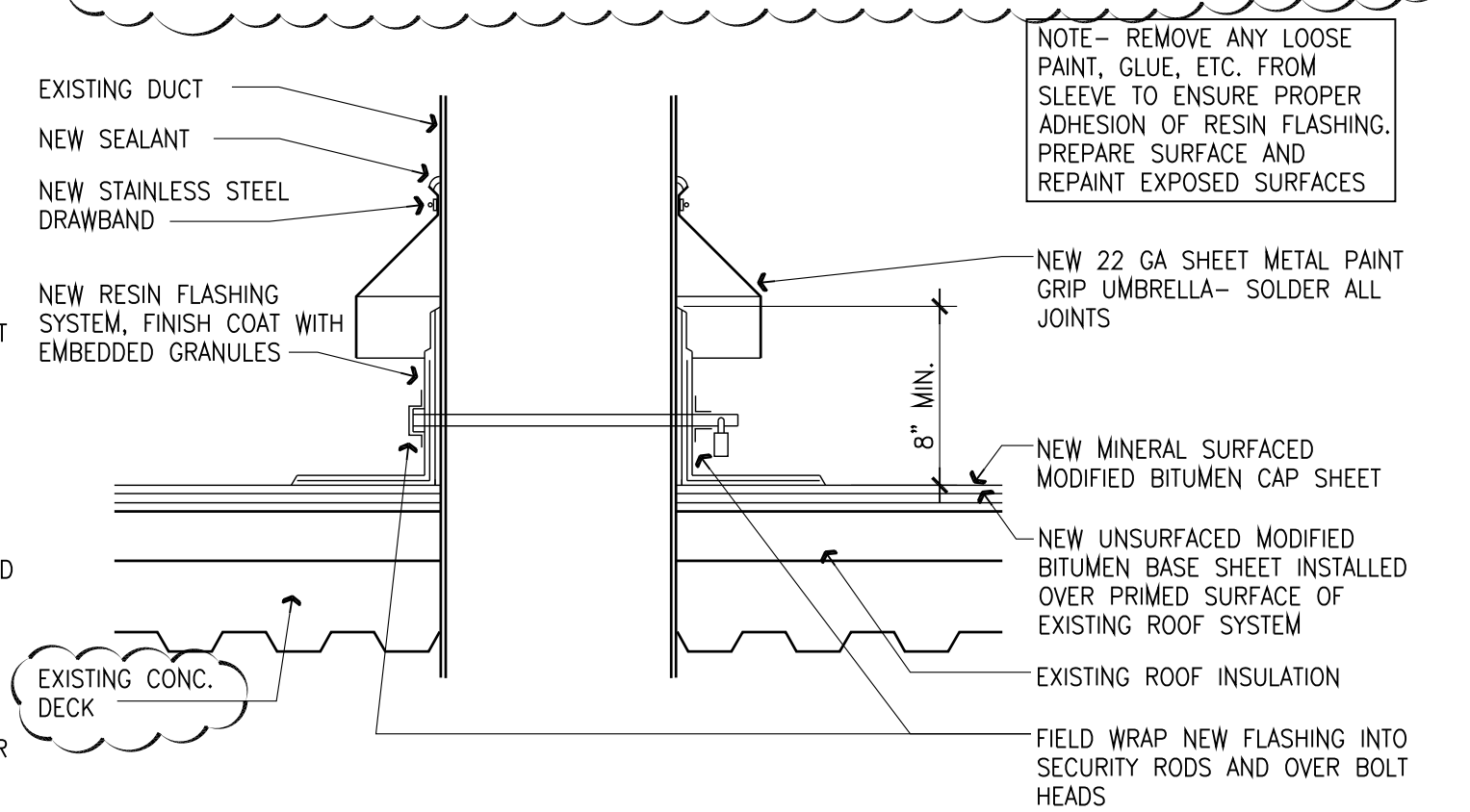
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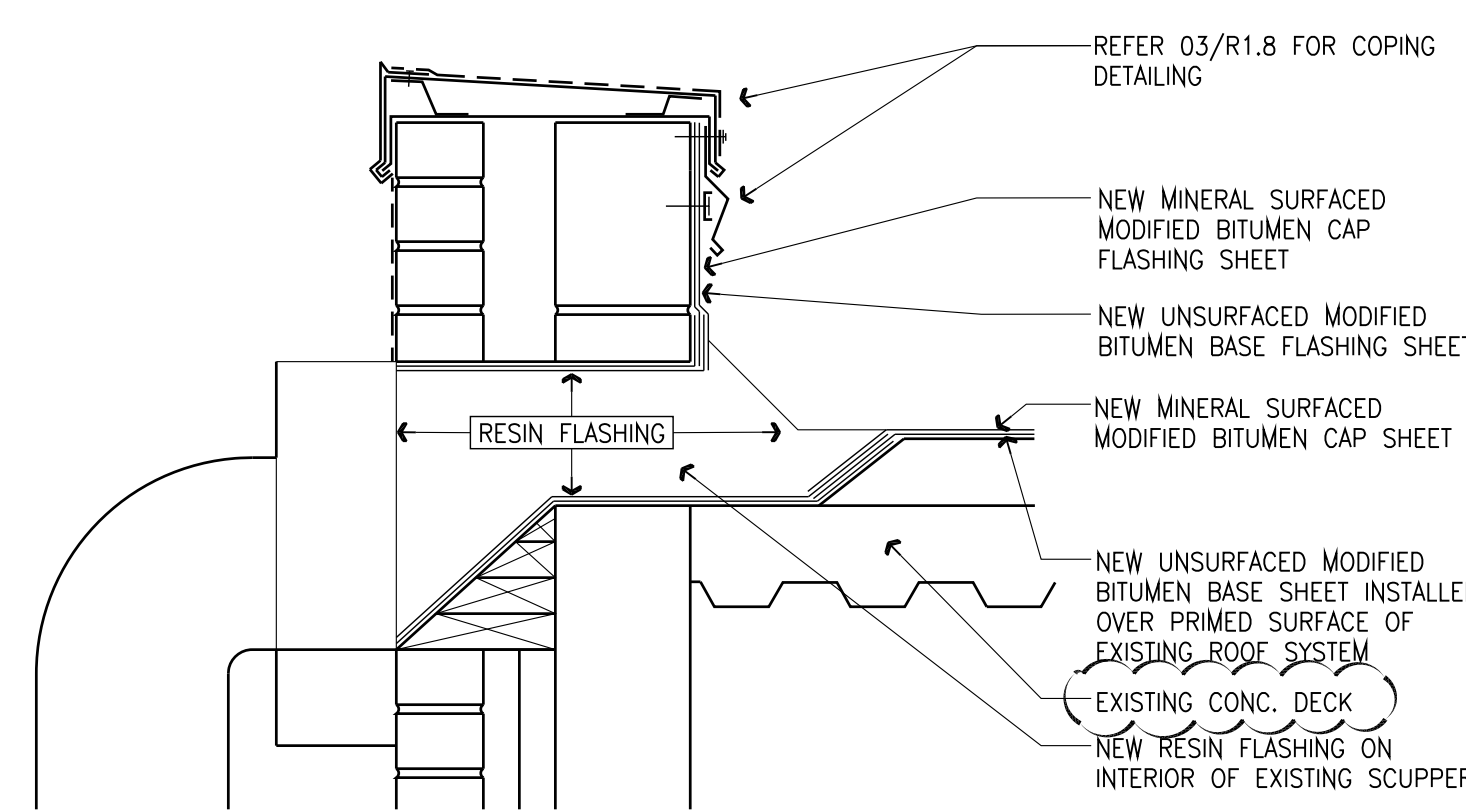
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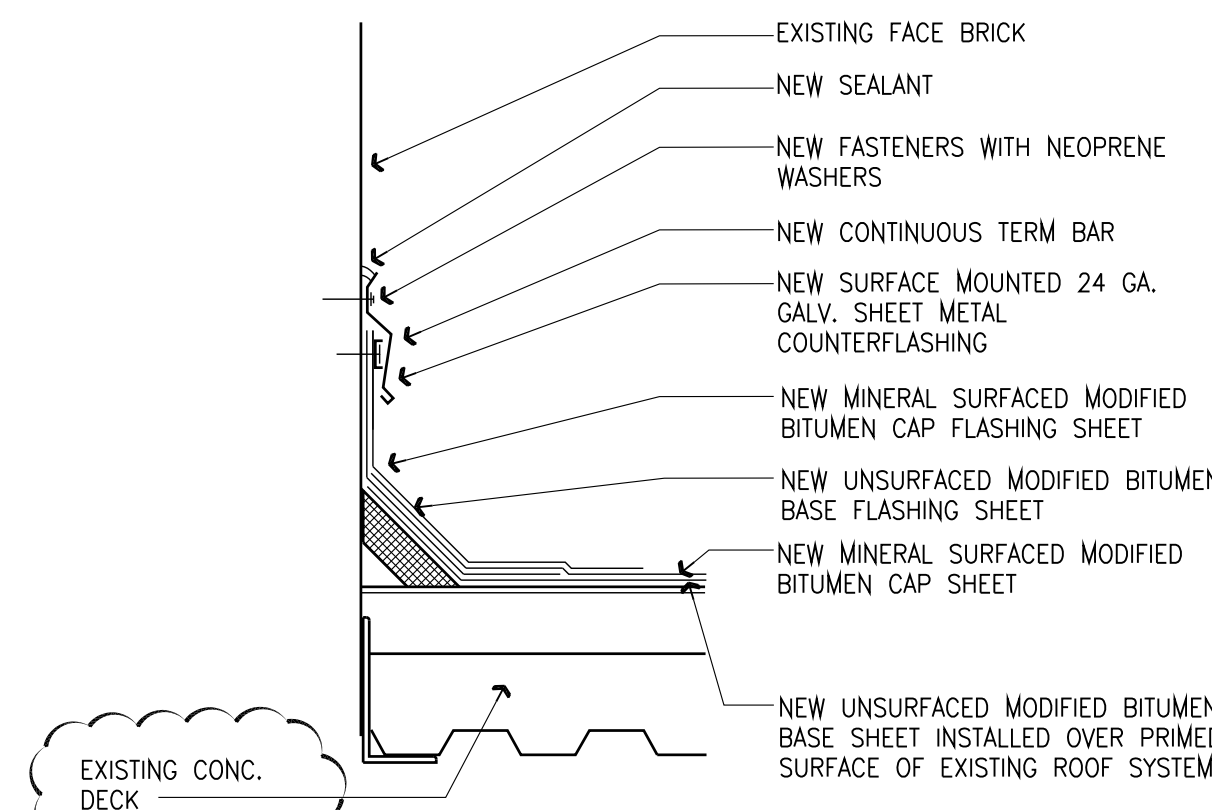
13 Remedial Patch Repair Detail
Scale: 1-1/2" = 1'-0"



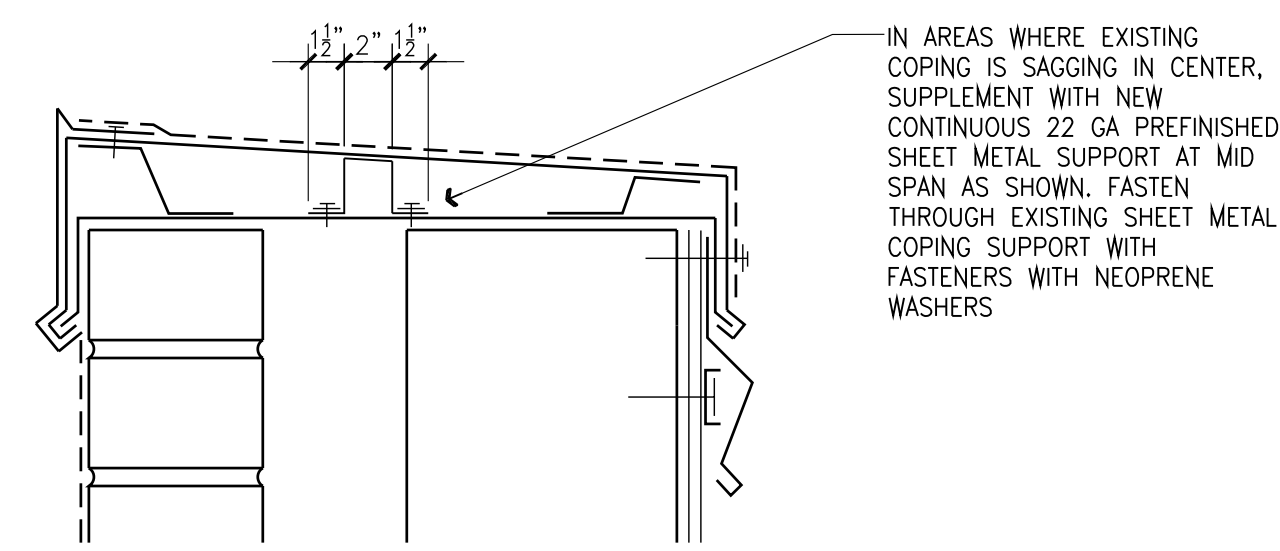
09 Duct Penetration Detail
Scale: 1-1/2" = 1'-0"



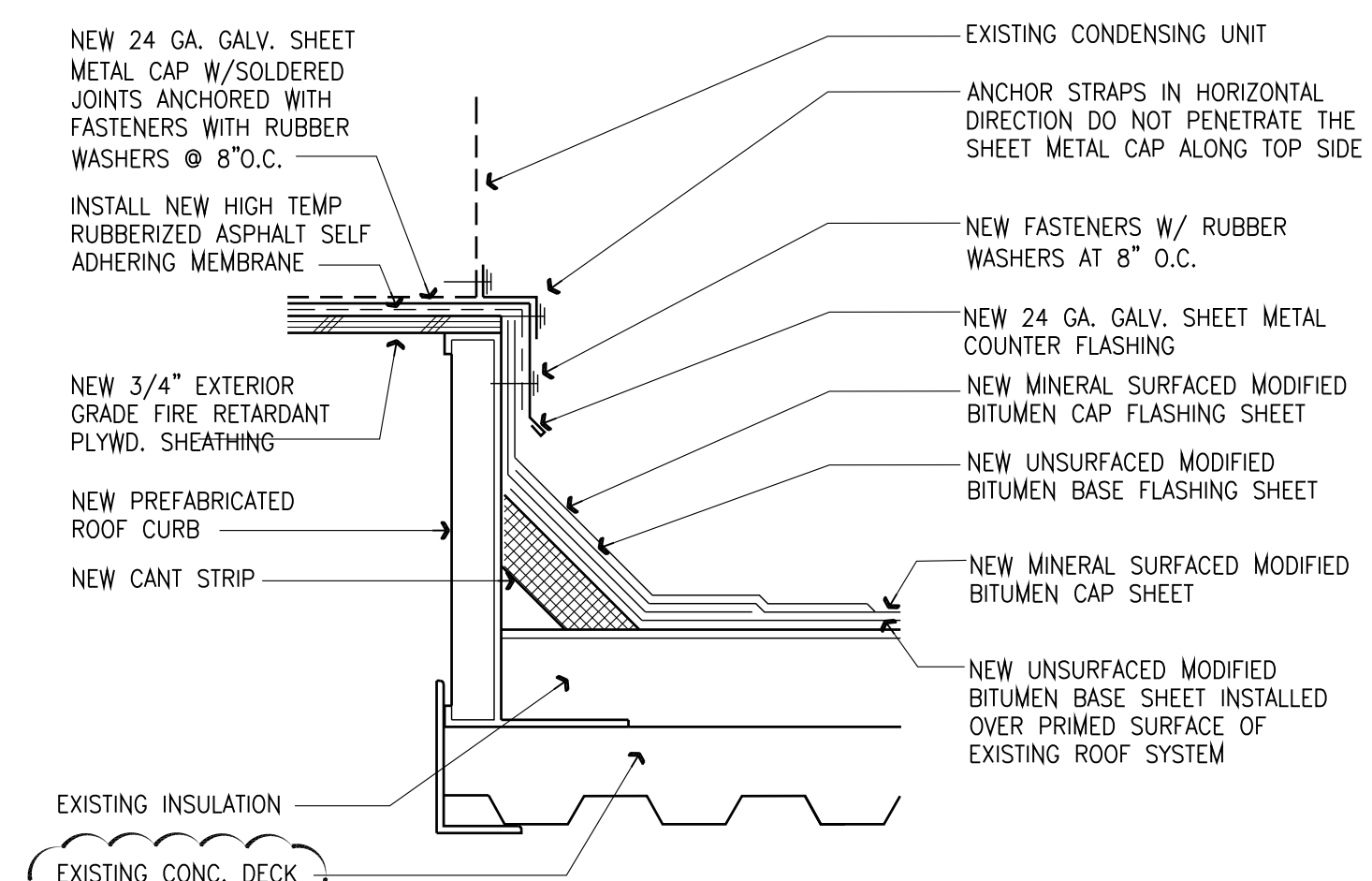
10 Scupper Detail
Scale: 1-1/2" = 1'-0"



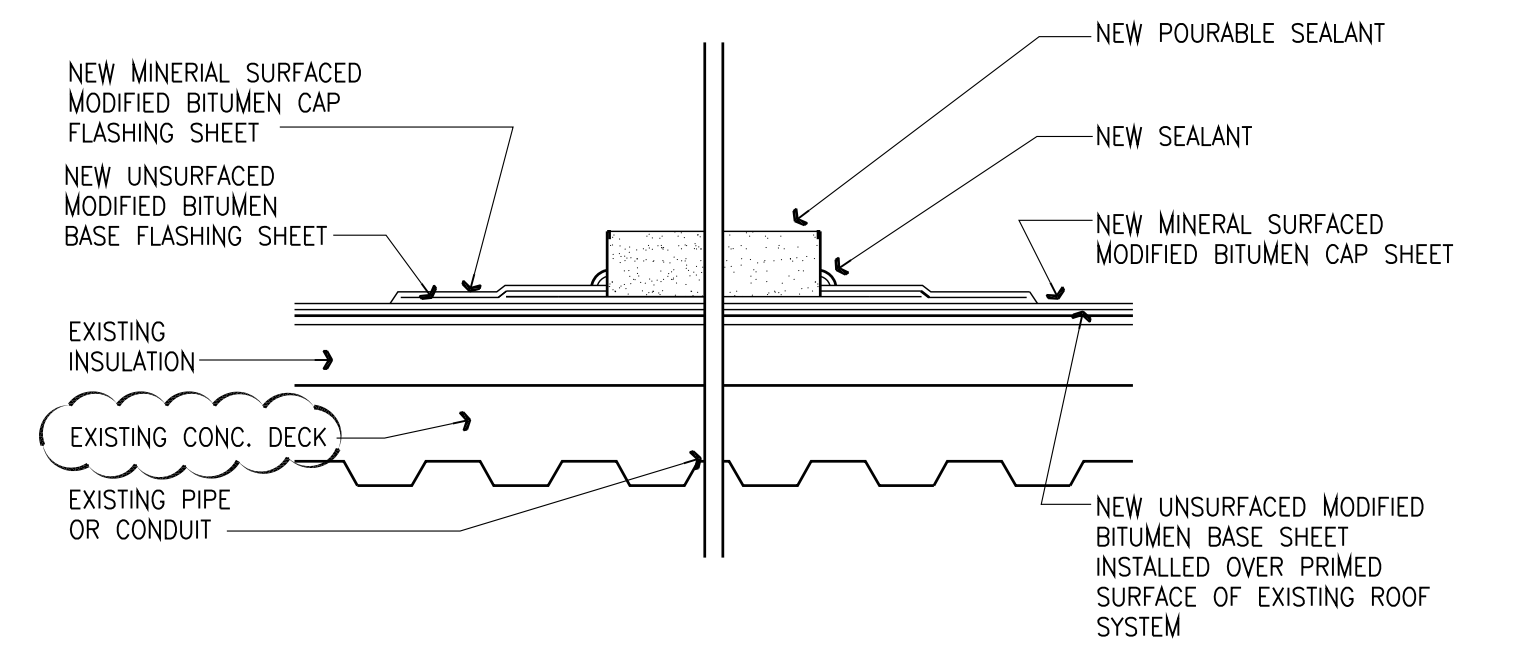
11 Wall Flashing Detail
Scale: 1-1/2" = 1'-0"



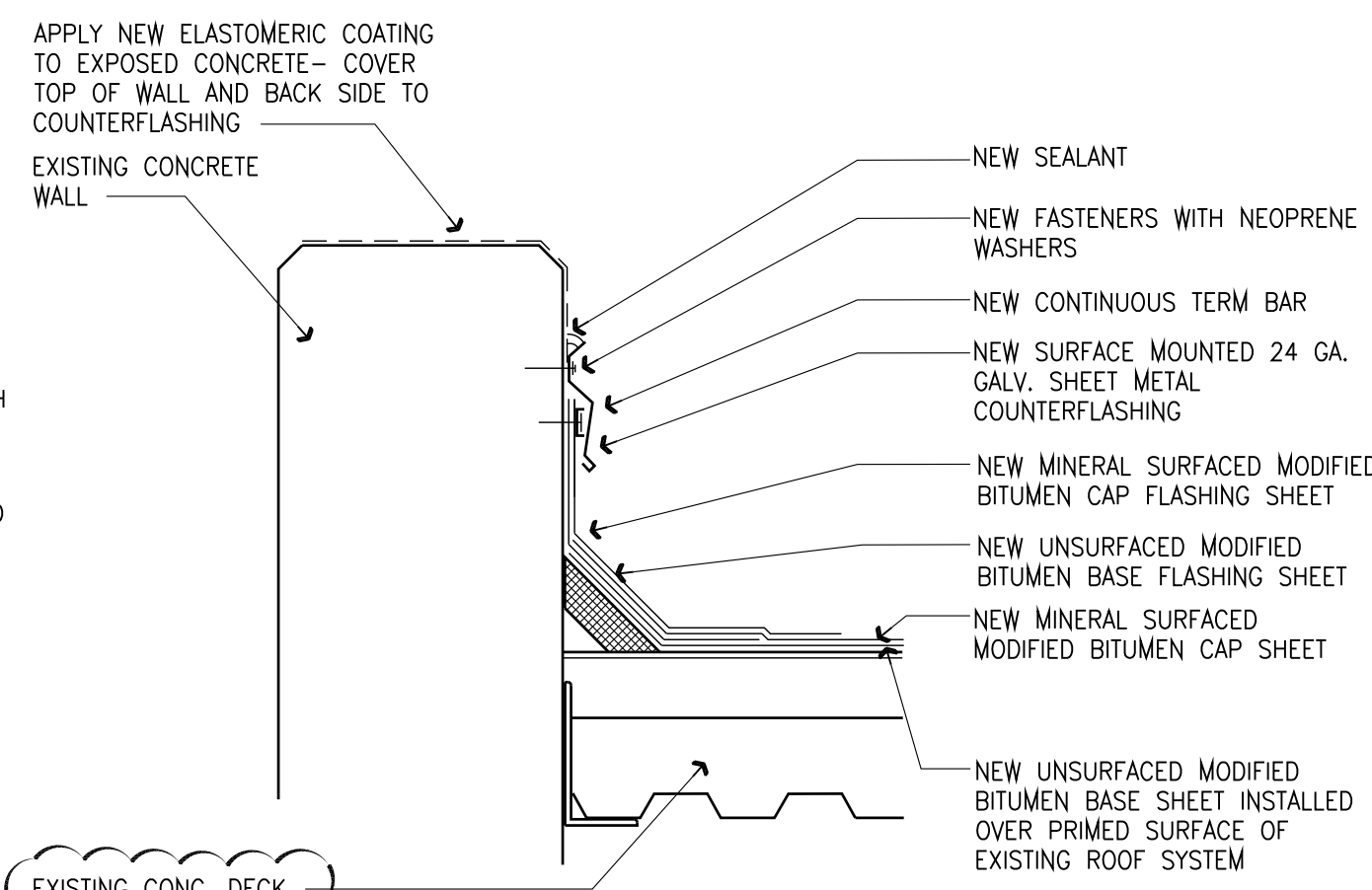
12 Coping Support Detail
Scale: 3" = 1'-0"



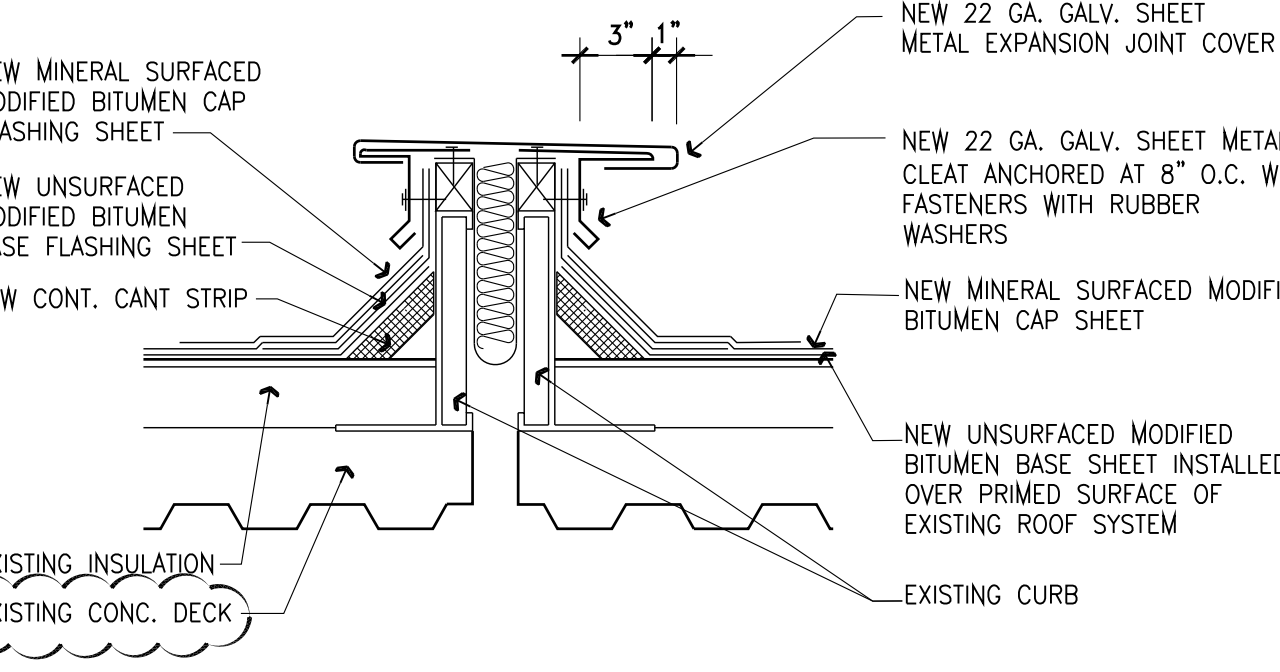
06 A/C Unit Support Detail
Scale: 1-1/2" = 1'-0"



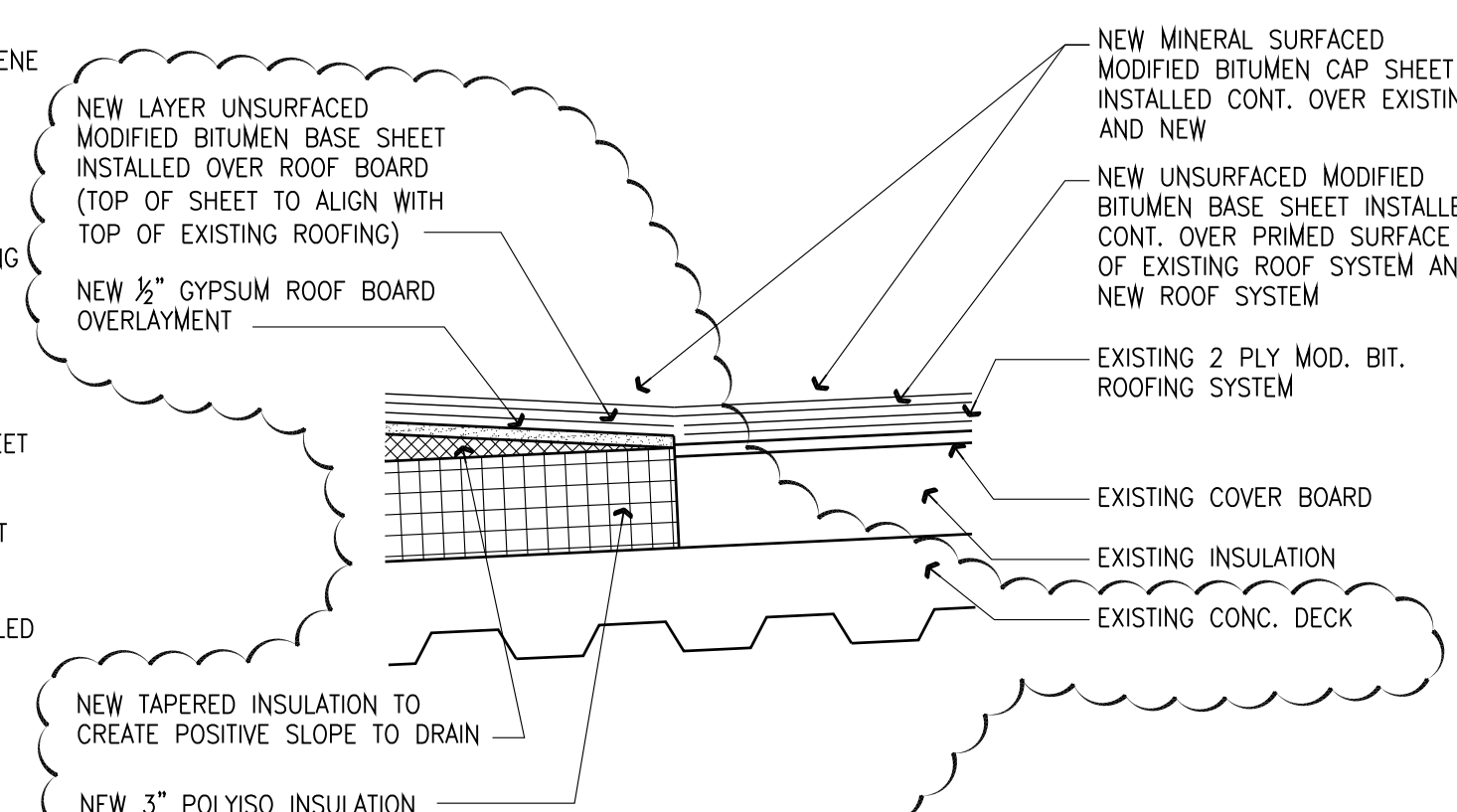
05 Existing Sealant Pan Detail
Scale: 1-1/2" = 1'-0"



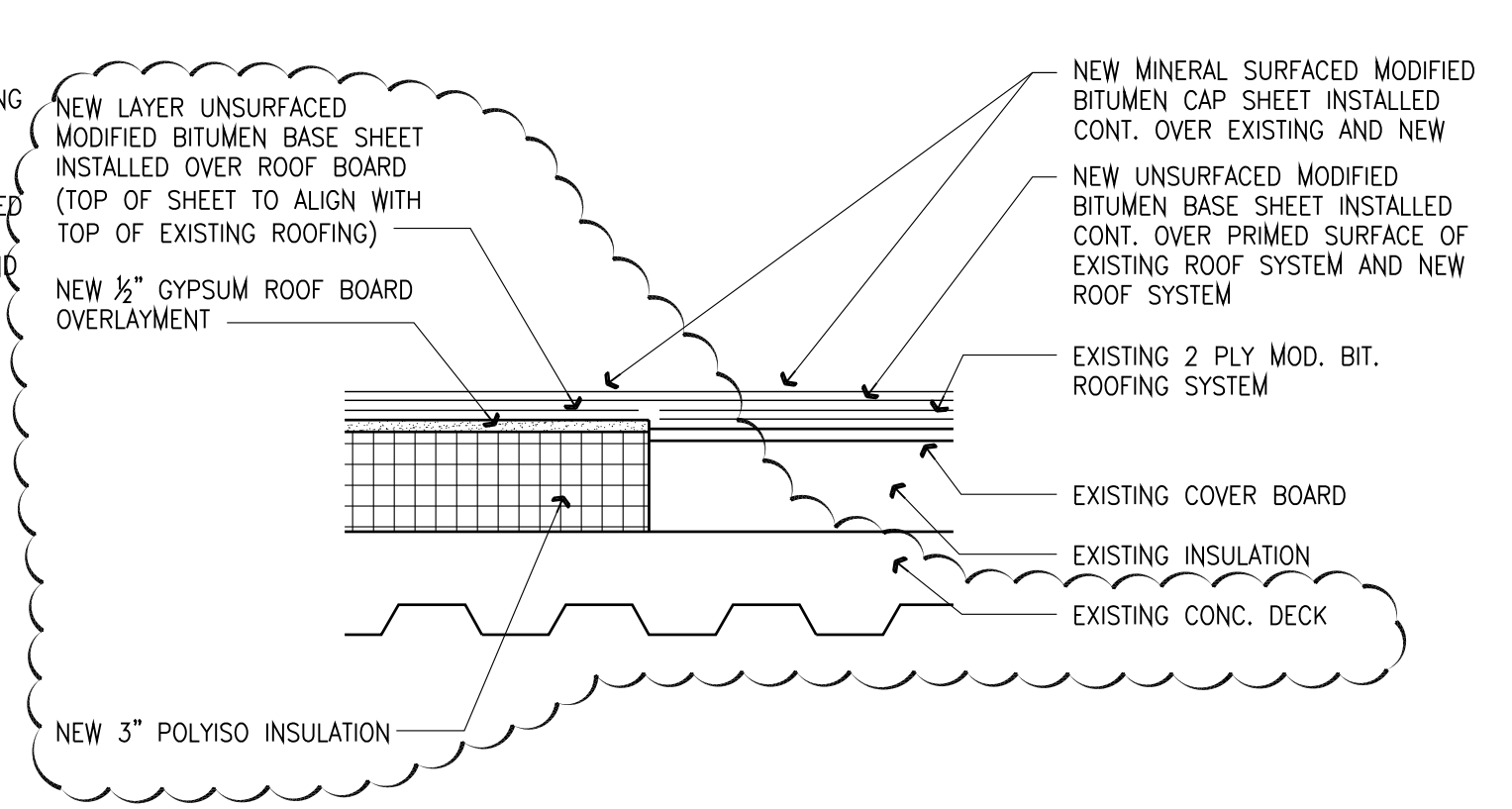
07 Concrete Parapet Detail
Scale: 1-1/2" = 1'-0"



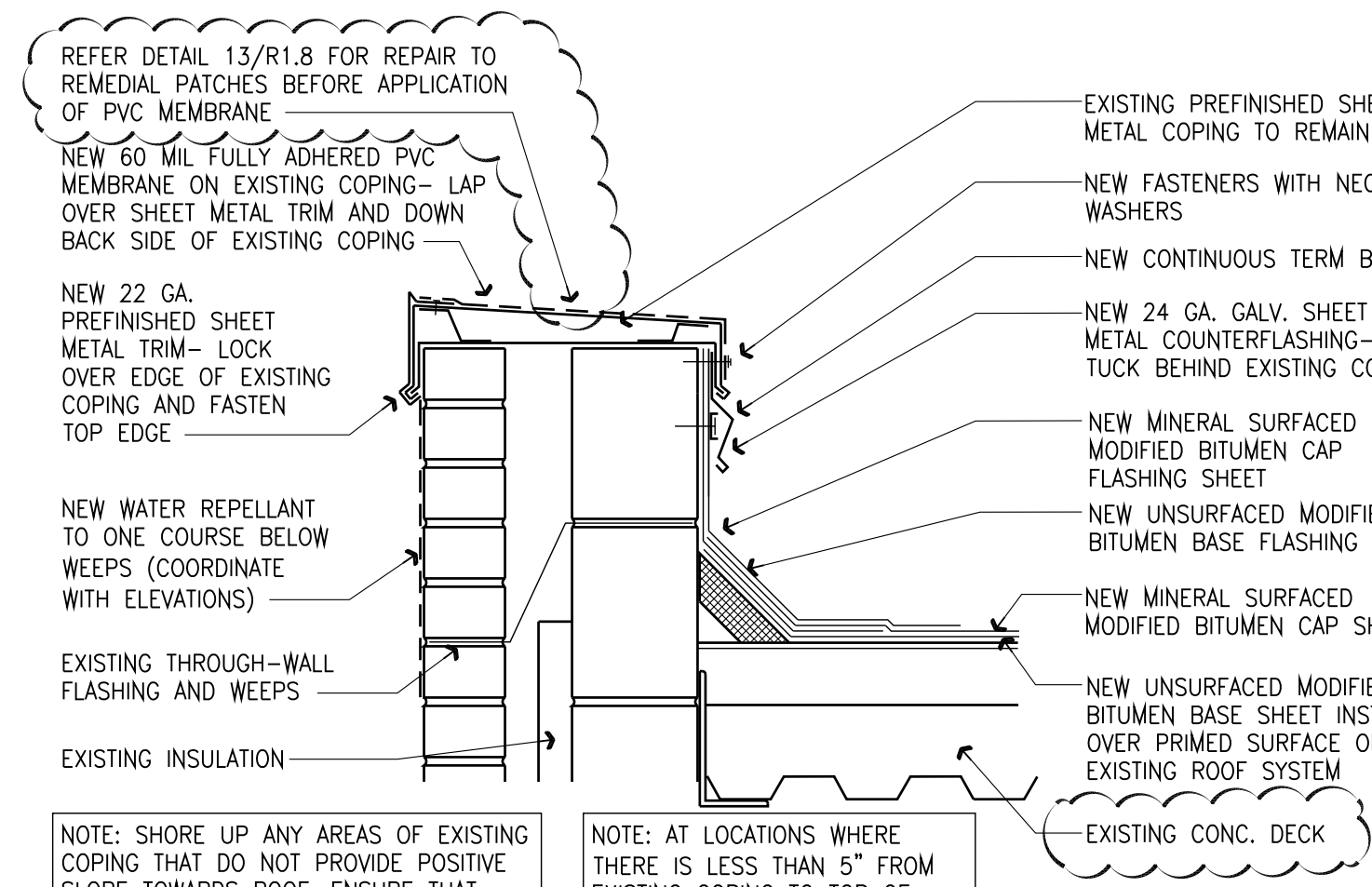
06 Expansion Joint Detail
Scale: 1-1/2" = 1'-0"



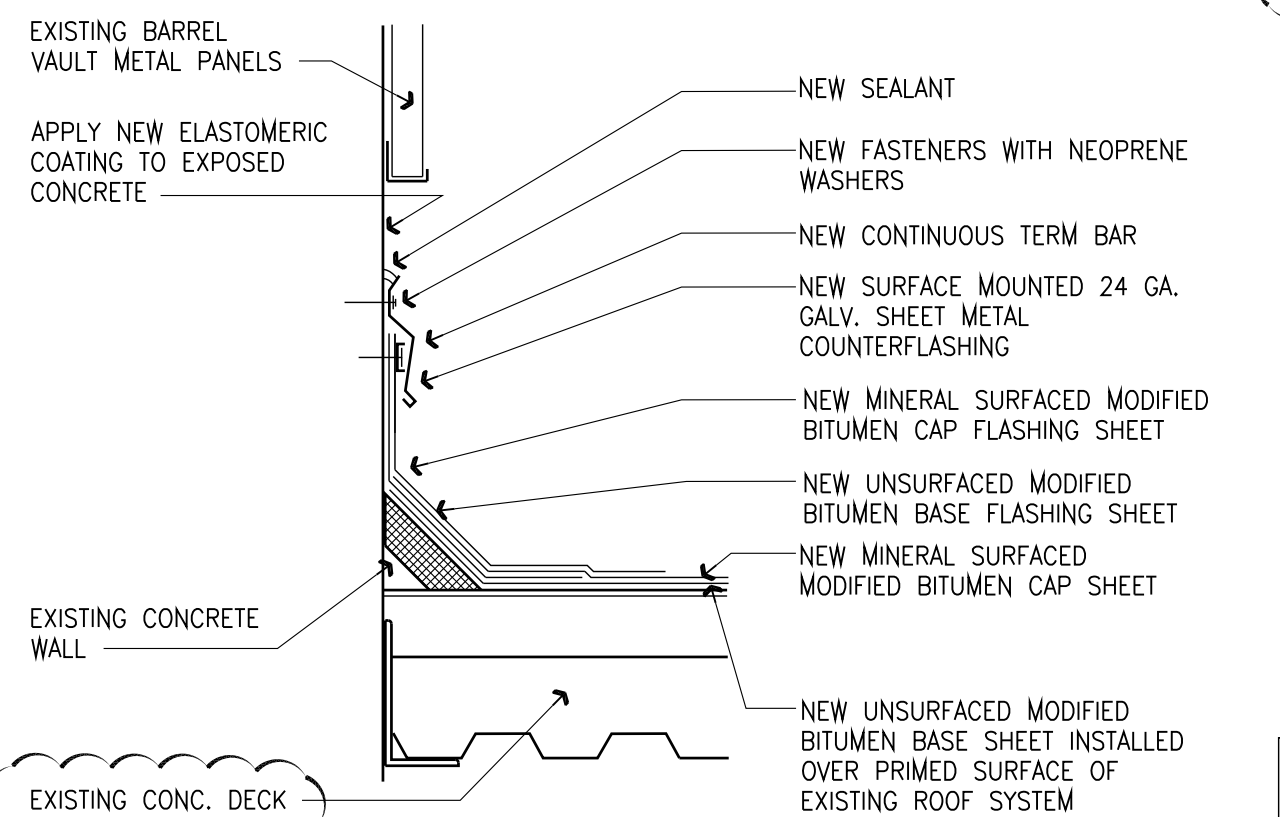
02 Supplemental Insulation Detail
Scale: 1-1/2" = 1'-0"



01 Existing Roofing Infill Detail
Scale: 1-1/2" = 1'-0"



03 Typical Parapet Detail
Scale: 1-1/2" = 1'-0"



04 Wall Flashing Detail
Scale: 1-1/2" = 1'-0"

Roof Recovery
Collin County Justice Center
for Collin County
McKinney, Texas

Drawn By TW
Checked By TB

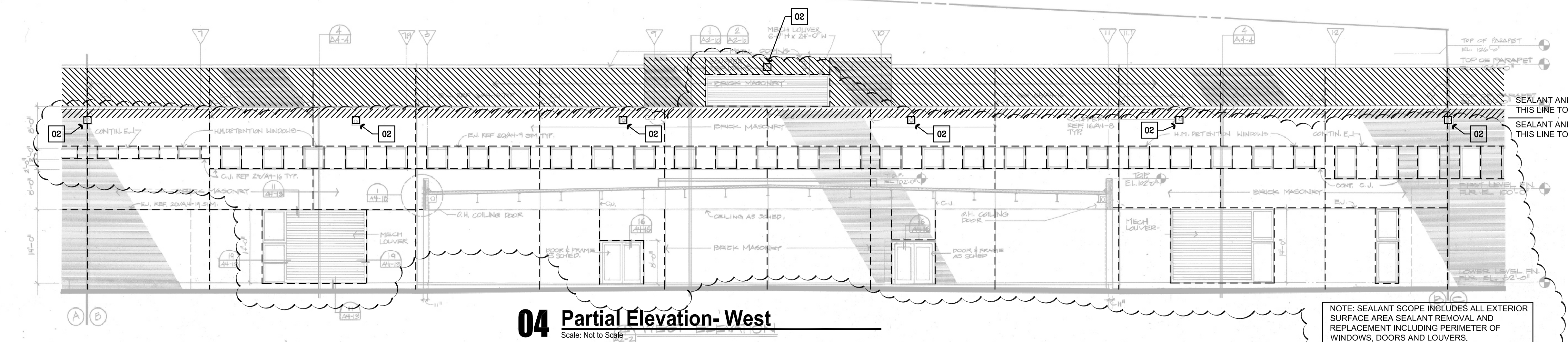
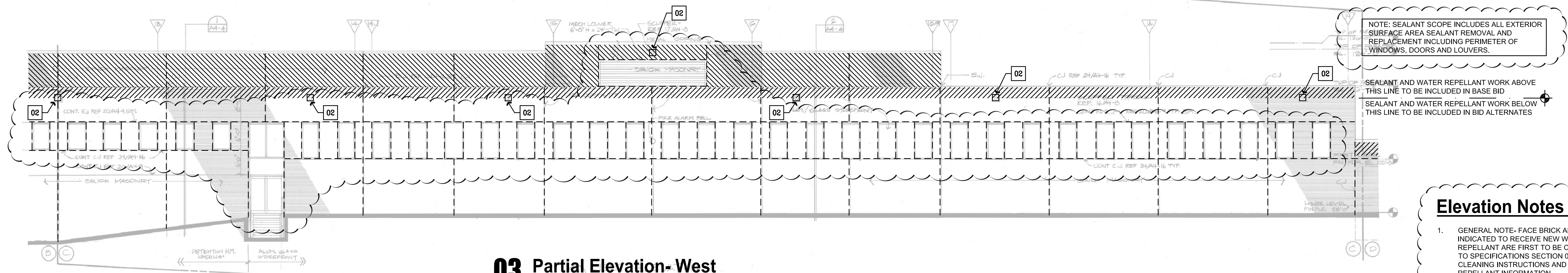
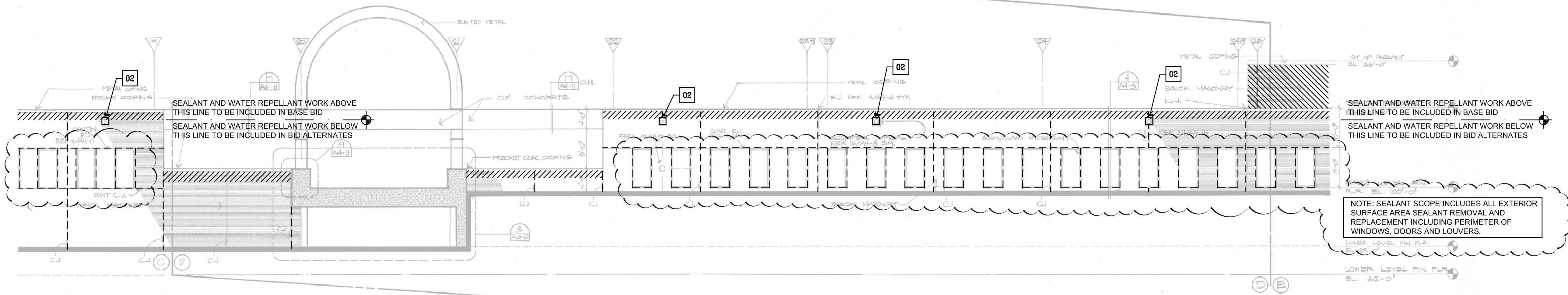
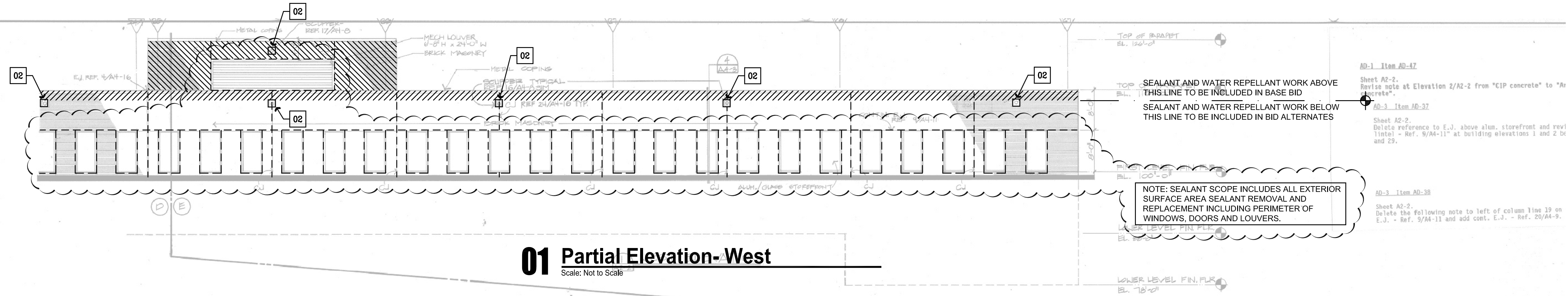
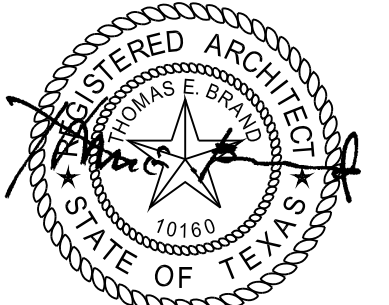
Revisions
ADDENDUM 2 10-13-17

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Sheet Title
Roof Details

Project Number 46-17026N
Scale: AS NOTED
Date 08/28/17

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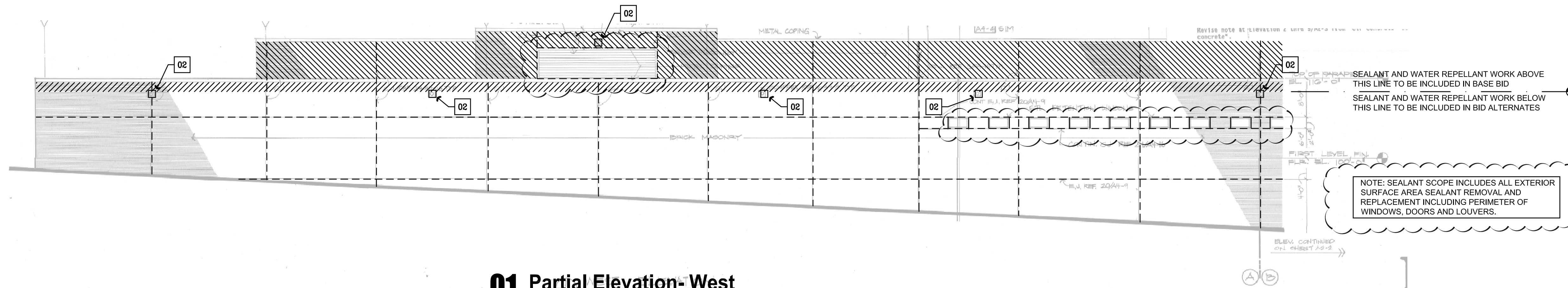
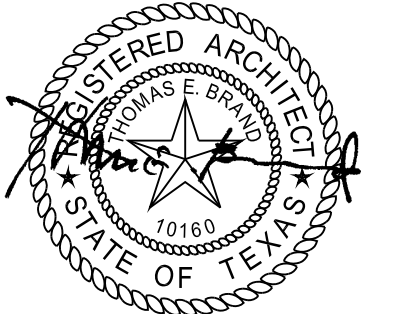


Elevation Notes

- GENERAL NOTE- FACE BRICK AREAS INDICATED TO RECEIVE NEW WATER REPELLANT ARE FIRST TO BE CLEANED. REFER TO SPECIFICATIONS SECTION 04 0100 FOR CLEANING INSTRUCTIONS AND WATER REPELLANT INFORMATION.
- INSTALL SEALANT AT PERIMETER OF ALL SCUPPER SHEET METAL FASCIAS.
- INSTALL SEALANT AT PERIMETER OF SECURITY GLAZED WINDOWS (BETWEEN FRAME AND BRICK), WET SEAL GLAZING (BETWEEN FRAME AND GLAZING)- REFER SPECIFICATIONS SECTION 08 8900. PAINT WINDOW FRAMES.

Legend

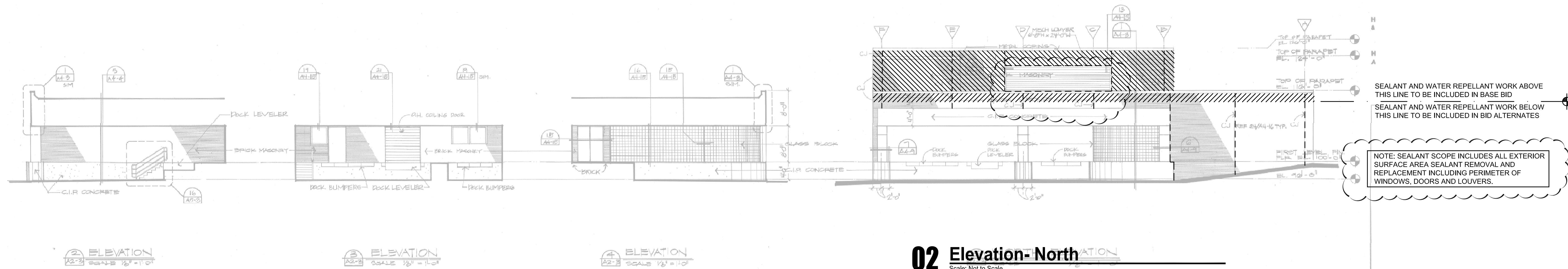
- REMOVE AND REPLACE EXISTING SEALANT JOINT
- INSTALL WATER REPELLANT ON EXISTING MASONRY TO 1 COURSE BELOW THROUGH-WALL FLASHING
- INSTALL WATER REPELLANT ON ENTIRE WALL SURFACE



01 Partial Elevation - West
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

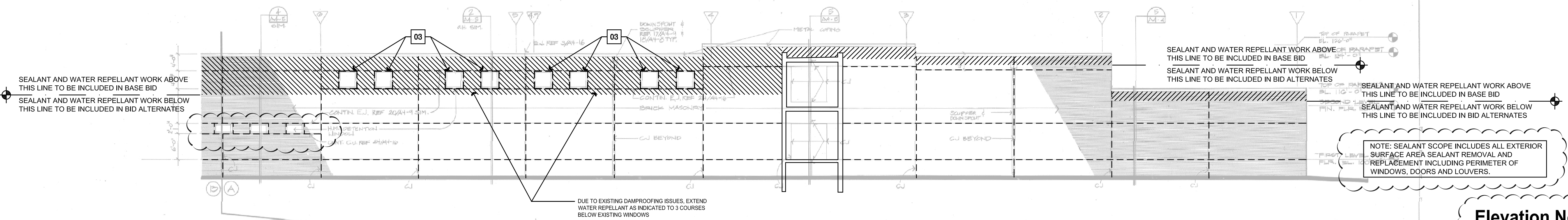
NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.



02 Elevation - North
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.



03 Partial Elevation - East
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.

DUE TO EXISTING DAMPROOFING ISSUES, EXTEND WATER REPELLANT AS INDICATED TO 3 COURSES BELOW EXISTING WINDOWS

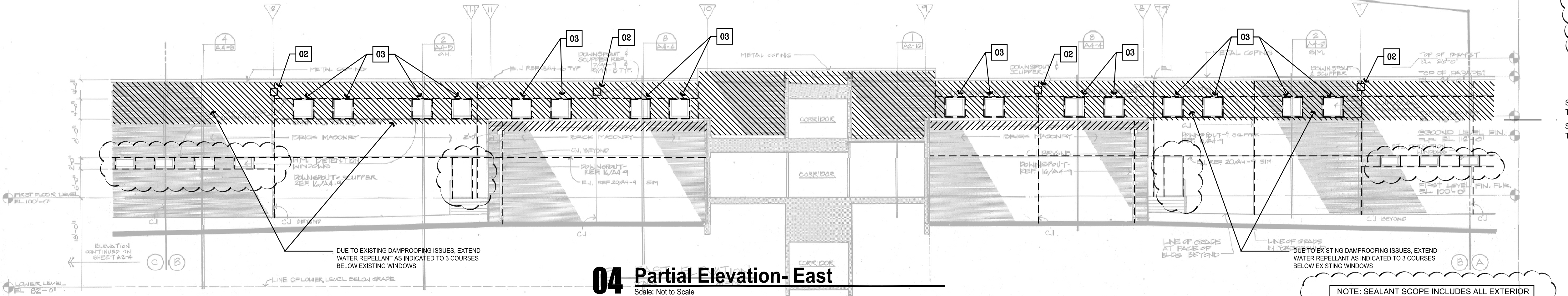
Elevation Notes

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SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

Legend

- REMOVE AND REPLACE EXISTING SEALANT JOINT
- ////// INSTALL WATER REPELLANT ON EXISTING MASONRY TO 1 COURSE BELOW THROUGH-WALL FLASHING
- ||||||| INSTALL WATER REPELLANT ON ENTIRE WALL SURFACE



04 Partial Elevation - East
Scale: Not to Scale

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.

Roof Recovery
Collin County Justice Center
for Collin County
McKinney, Texas

Drawn By TW
Checked By TB
Revisions

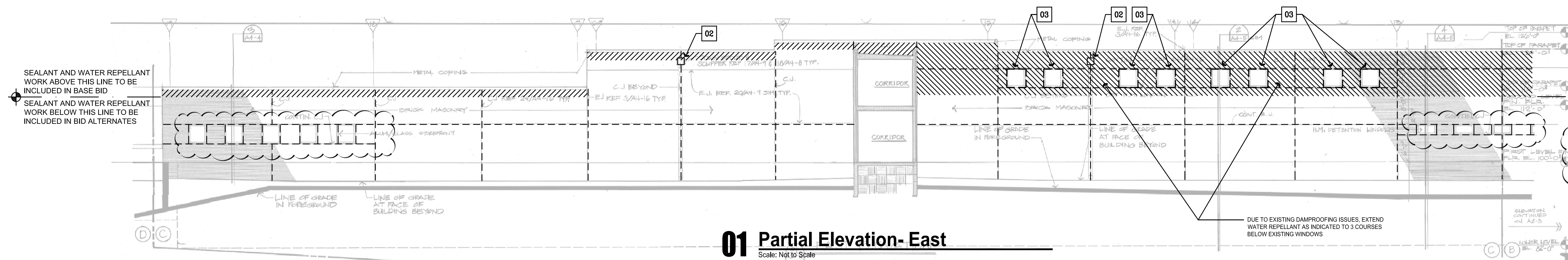
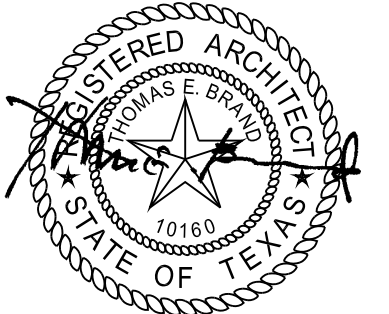
ADDENDUM 2 10-13-17

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01 Partial Elevation- East
Scale: Not to Scale

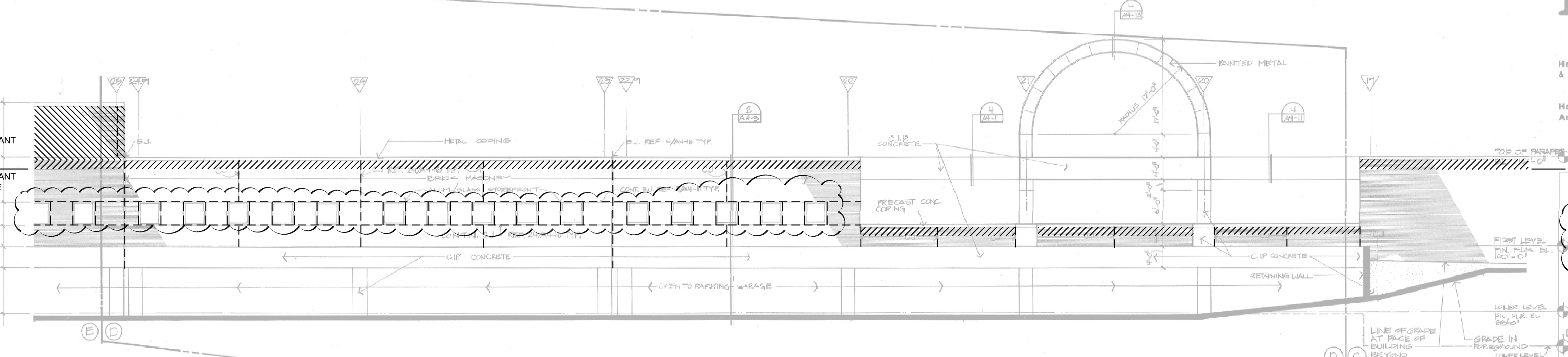
SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.

DUE TO EXISTING DAMPROOFING ISSUES, EXTEND WATER REPELLANT AS INDICATED TO 3 COURSES BELOW EXISTING WINDOWS

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

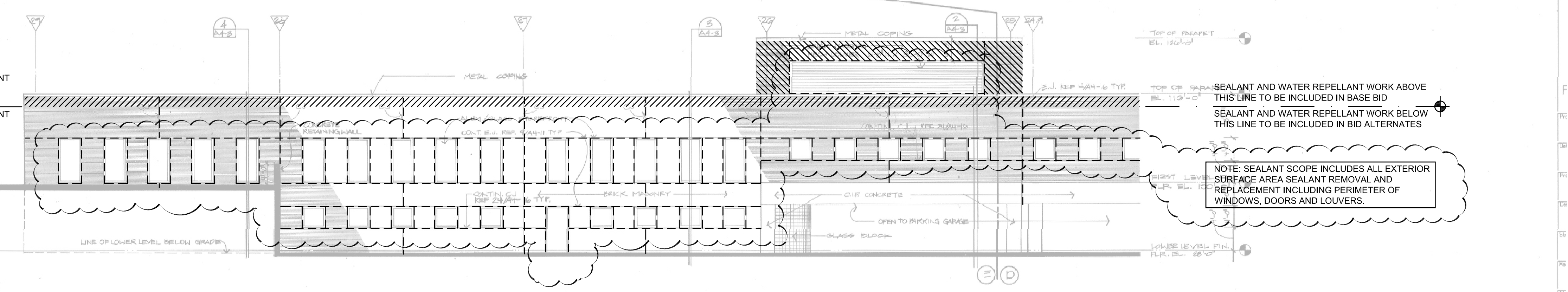
NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.



02 Partial Elevation- East
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.



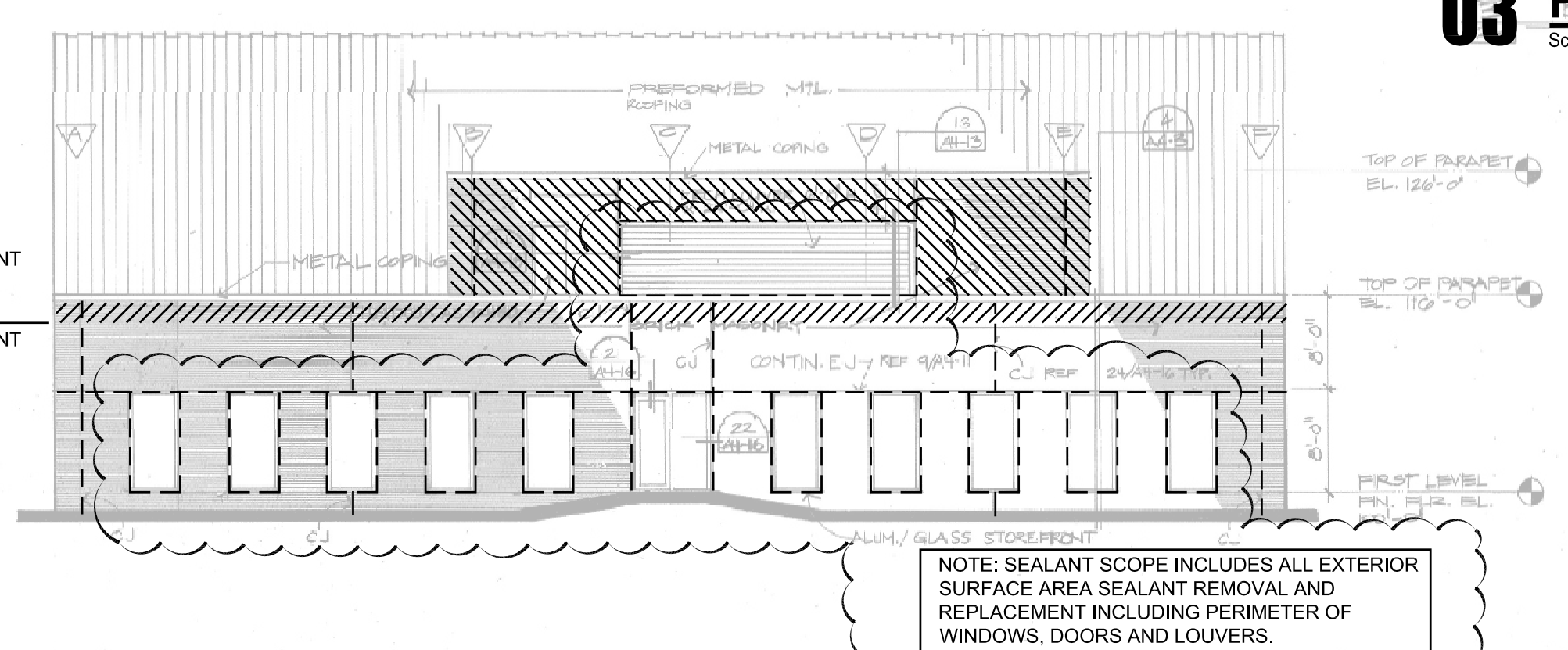
03 Partial Elevation- East
Scale: Not to Scale

Elevation Notes

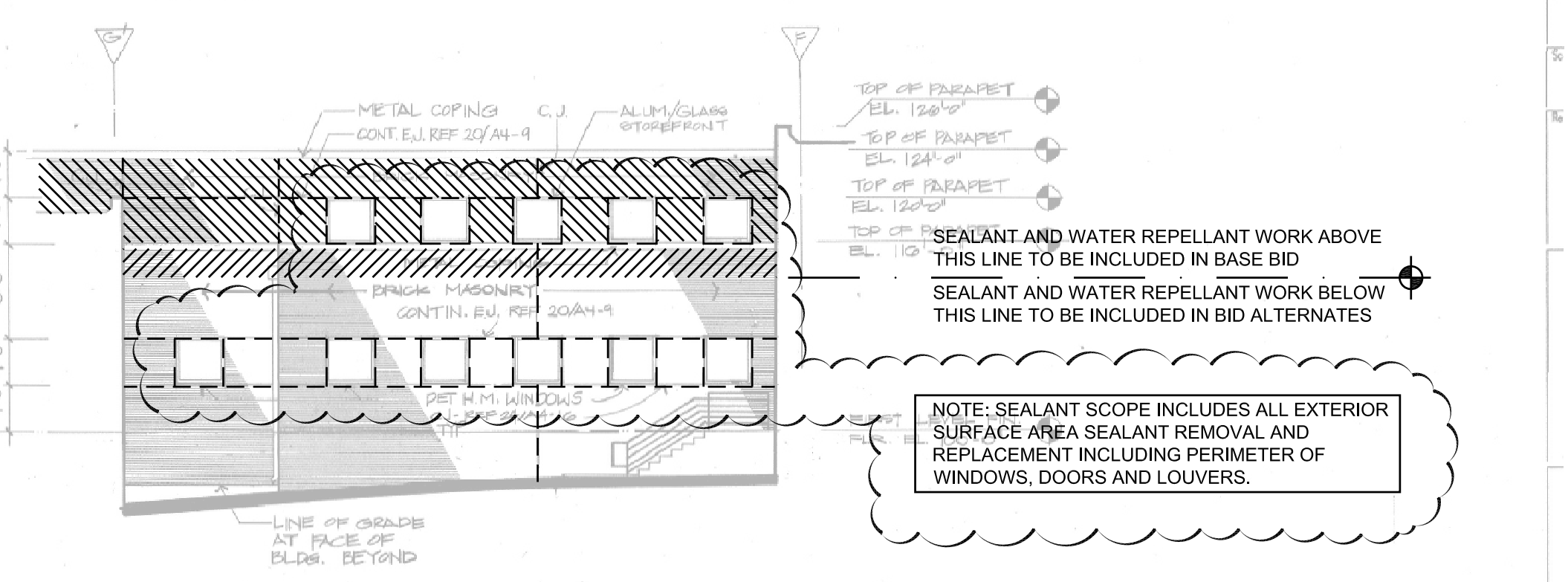
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Legend

- REMOVE AND REPLACE EXISTING SEALANT JOINT
- ////// INSTALL WATER REPELLANT ON EXISTING MASONRY TO 1 COURSE BELOW THROUGH-WALL FLASHING
- ////// INSTALL WATER REPELLANT ON ENTIRE WALL SURFACE



04 Elevation- South
Scale: Not to Scale



05 Partial Elevation- North
Scale: Not to Scale

Roof Recovery
Collin County Justice Center
for Collin County
McKinney, Texas

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Checked By TB
Revisions
ADDENDUM 2 10-13-17

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Sheet Title
Exterior Elevations

Project Number 46-17026N
Scale: AS NOTED
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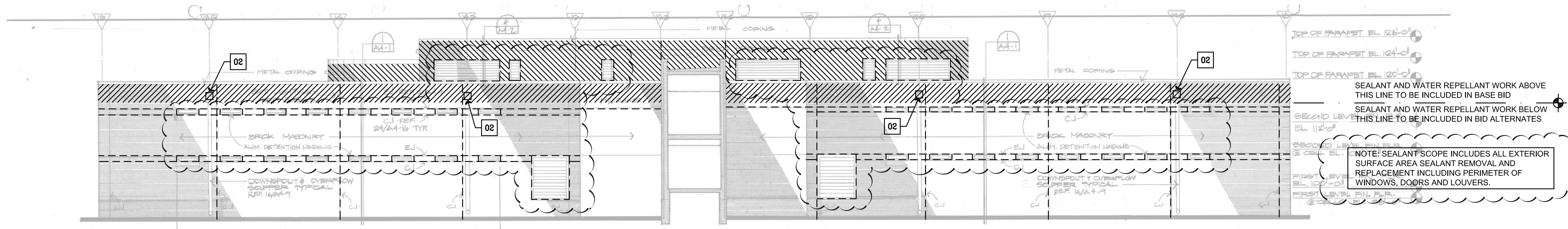
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DryTec

Moisture Protection
Technology
Consultants, Inc.
8750 N. Central Expwy,
Suite 1730
Dallas, Texas 75231
Voice 214-363-2192
Fax 214-363-2193



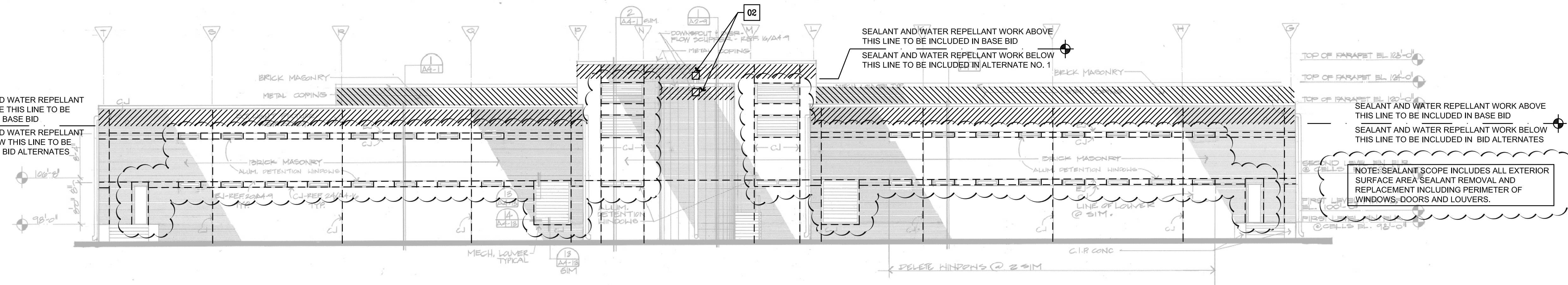
Date of Signing: October 13, 2017



01 Partial Elevation- West
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.

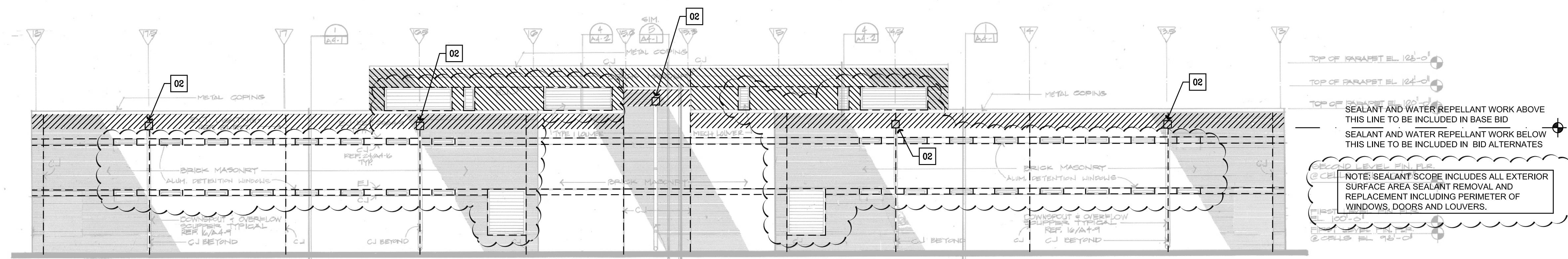


02 Partial Elevation- North
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

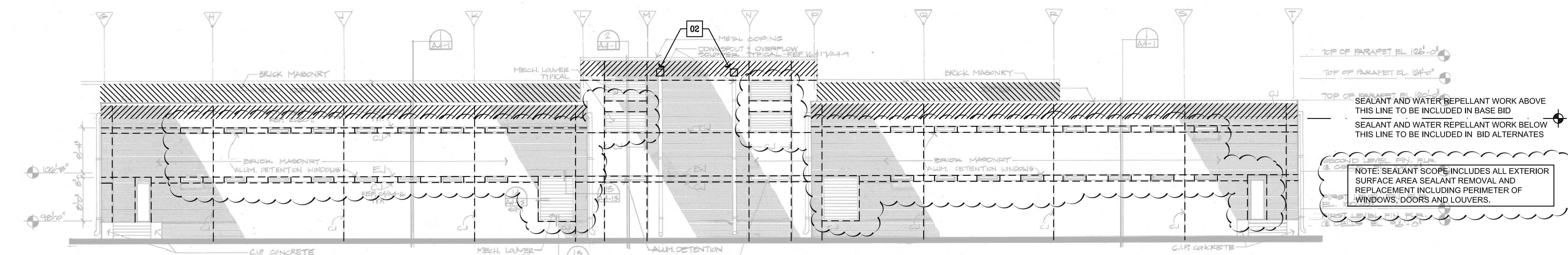
NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.



03 Partial Elevation- East
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.



04 Partial Elevation- South
Scale: Not to Scale

SEALANT AND WATER REPELLANT WORK ABOVE THIS LINE TO BE INCLUDED IN BASE BID
SEALANT AND WATER REPELLANT WORK BELOW THIS LINE TO BE INCLUDED IN BID ALTERNATES

NOTE: SEALANT SCOPE INCLUDES ALL EXTERIOR SURFACE AREA SEALANT REMOVAL AND REPLACEMENT INCLUDING PERIMETER OF WINDOWS, DOORS AND LOUVERS.

Elevation Notes

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Legend

- REMOVE AND REPLACE EXISTING SEALANT JOINT
- ////// INSTALL WATER REPELLANT ON EXISTING MASONRY TO 1 COURSE BELOW THROUGH-WALL FLASHING
- ||||||| INSTALL WATER REPELLANT ON ENTIRE WALL SURFACE

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Sheet Title
Exterior Elevations

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