



November 4, 2025

Lauren Plouff
Broaddus & Associates
2330 Bloomdale Rd
McKinney, TX 75071

Subject: Collin County Healthcare Facility, Parking Garage, and Medical Examiners
Revised PCO No. 062; RFI #208 ME Loading Dock Wall Detail Clarification

Dear Lauren:

Please find the attached revised Request for Change (PCO) No. 062. This proposal is submitted for an Add of Four Thousand Five Hundred and Sixty-Three Dollars (\$4,563.00), reflective of the following items:

- **Updated concrete scope of work per RFI 208 response:**
 - **Includes additional concrete material and labor for updated details and drawings provided/clarified.**
 - **Form, place, and finish additional curbs.**
 - **Form, place, and finish additional loading dock walls along gridline D.**
- ***This PCO will be an add in the amount of \$4,563.***

We have not proceeded with this change. Please sign the attached request for change recap indicating approval of this change.

Sincerely,

Jim Terhune 
Digitally signed by Jim Terhune
DN: cn=Jim Terhune, email=terhune@christman.com,
c=US, ou=Christman Company
Date: 2025.11.04 11:58:24-0500

Jim Terhune
Sr. Project Manager

CC: Peter Hernandez , PGAL

Collin County PGAL - Dallas (Addison) Project Manager Accounting

Project: 224057- Collin County Public Health Buildings **Owner :** Collin County **From:** The Christman Company
 2300 Bloomdale Rd 2300 Bloomdale Rd; Suite 3160
 McKinney, TX 75071 McKinney, TX 75071

Issue No. 062 - RFI 208 ME Loading Dock Wall Detail Clarification Amount

Item: I Medical Examiner's

Phase	Description	Abbreviation	Amount
10 -	Concrete	SUBS	4,079.00
41 -4110	Payment and Performance Bonds	OTHER	35.00
41 -4120	Builder's Risk Insurance	OTHER	3.00
60 -	Overhead & Profit	OTHER	415.00
99 -	General Liability Insurance	OTHER	31.00
Subtotal Item I			4,563.00
			0.00
Request for Change Total:			\$4,563.00

Qualifications:

- This Issue is Original Revised Budget Only Firm Quotation.
- Contract time will be Increased by Decreased by () work days; Unchanged Other: _____
- The Christman Company has has not proceeded with the work, and this Issue must be accepted within () work days.
- Funded by Contract change Allowance Contingency Other: _____

Owner and/or Architect Action:

- Approved Proceed as described above (cost and schedule changes to be finalized under a revised Issue)
 Rejected Other: _____

Authorization:


The Owner and/or Architect hereby direct The Christman Company to proceed with the performance of the work as described above and/or in any additional documents referenced herein. It is understood that the amount of this Request for Change, if noted as "Budget Only" under Qualification I., will be revised as necessary upon determination of final costs and included in the next Owner Change Order accordingly. If noted as "Firm Quotation" under Qualification I., the amount of this Request will be included in the next Owner Change Order. In addition, all costs included herein may be included in the next payment application as if they had been included in an Owner Change Order or Construction Change Directive.

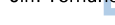
Authorized By Owner:
Collin County
2300 Bloomdale Rd; Suite 3160
McKinney, TX 75071

Accepted By Architect
PGAL - Dallas (Addison)
14135 Midway Road, Suite G-200
Addison TX 75001

Submitted By Contractor:
The Christman Company

By: _____

By:  Tim Konganda
Digitally signed by Tim Konganda
DN: cn=Tim Konganda, o=PGAL, ou=The Christman Company, email=tim.konganda@pgal.com, date=2025.11.13 08:42:28-0500

By:  Jim Terhune
Digitally signed by Jim Terhune
DN: cn=Jim Terhune, o=The Christman Company, email=Jim.Terhune@christmanco.com, date=2025.11.04 11:59:00-0600

Date: _____

Date: _____

Date: _____

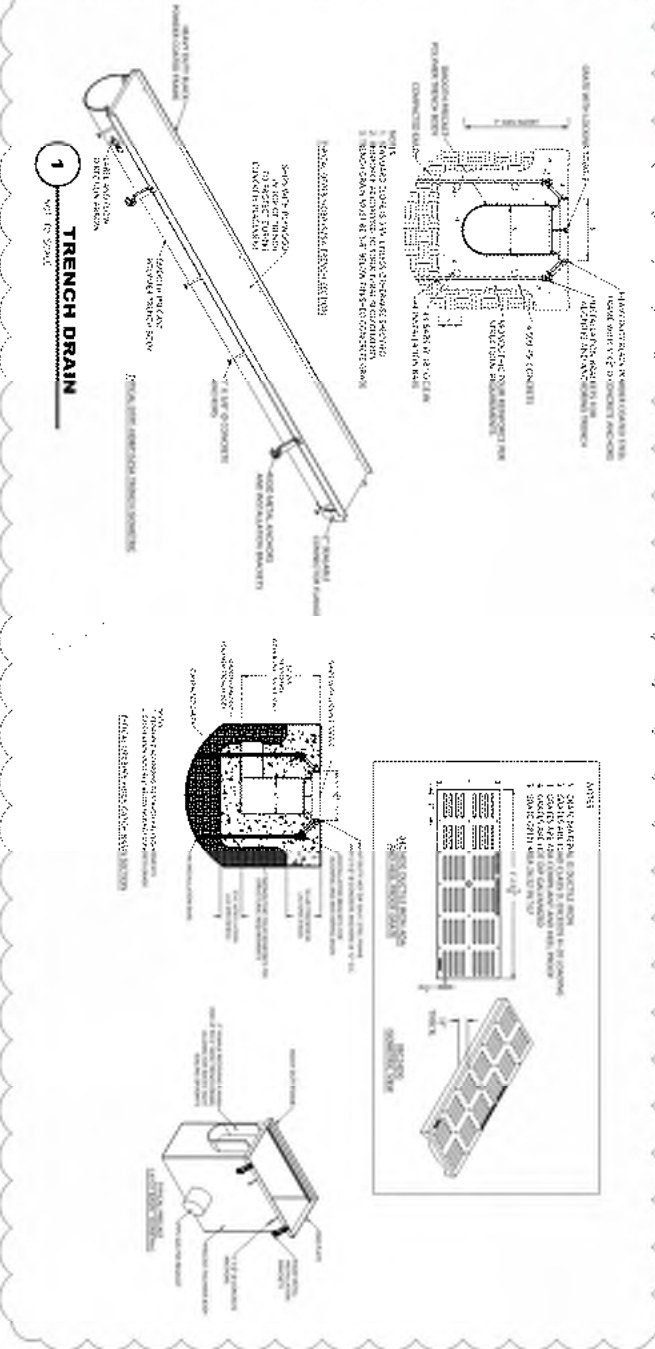
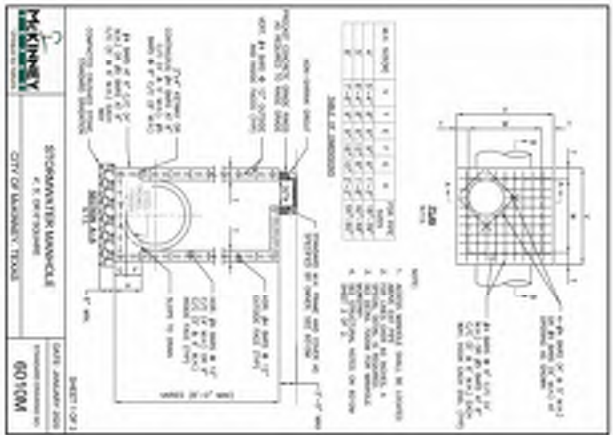
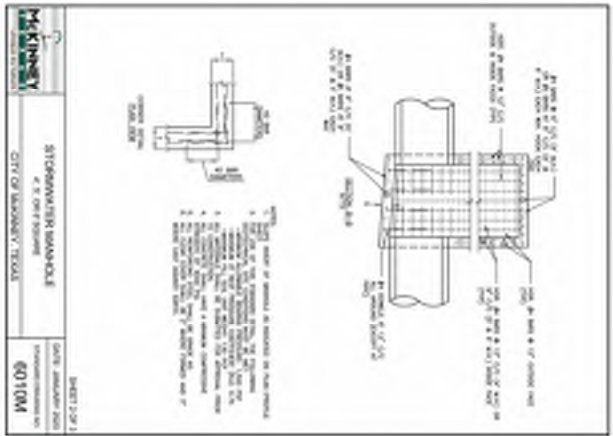
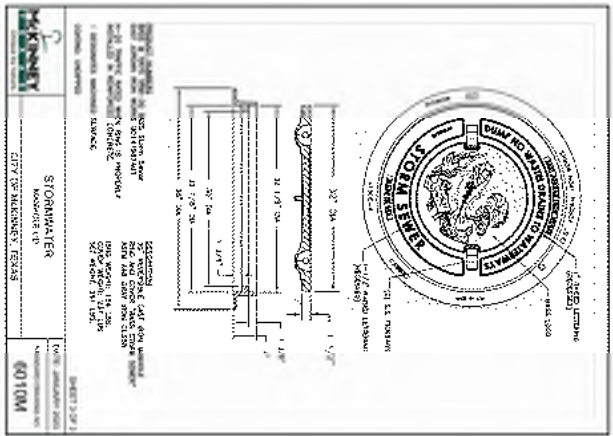
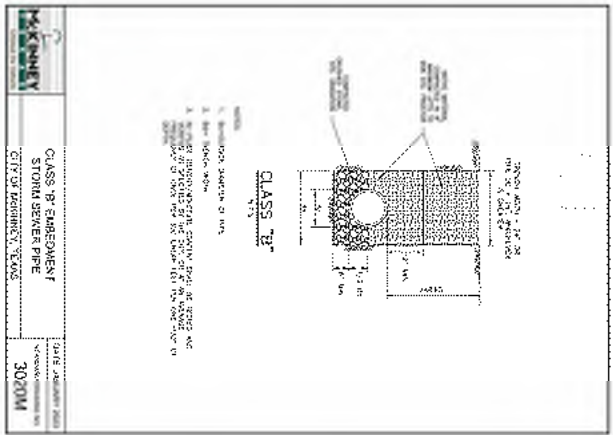


Subcontractor: Potter Structures LTD
Job Name: COLLIN COUNTY MEDICAL CAMPUS
Location: MEDICAL EXAMINERS BUILDING
Date: Revised 10.29.2025
PCO #: 28

Scope of Work Description:

RF#208 - MEB LOADING DOCK WALL CLARIFICATION

Item Description *	Material				Labor			Equipment			Subcontractor			Total Cost
	Qty	Unit	Cost/Unit	Total	MH/Unit	Rate	Total	Hrs	Rate	Total	Hrs	Rate	Total	
SD-C3.03 - GRADING PLAN														
ADD CURB	40	LF												
FORMWORK	40	LF			6.00	\$40.19	\$241.14							\$241.14
CONCRETE MATERIAL AND CONVEYANCE	1	CYD	\$167.00	\$167.00	2.00	\$40.19	\$80.38					\$4.50	\$180.00	\$427.38
STRIP FORMS	40	LF			4.00	\$40.19	\$160.76							\$160.76
ADD LOADING DOCK WALL WITH FOOTING PER 2/ME-S3.01 ALONG GRID LINE D - WALL NOT SHOWN IN ARCHITECTURAL SITE PLAN														
WALL FORMWORK - INSTALL/REMOVE	8	CSF	\$4.87	\$38.96	12.00	\$40.19	\$482.28	2.00	\$270.00	\$540.00				\$1,061.24
WALL CONCRETE MATERIAL/CONVEYANCE	1	CYD	\$164.00	\$164.00	6.00	\$40.19	\$241.14	3.00	\$16.50	\$16.50				\$421.64
WALL RUB AND PATCH	8	CSF	\$0.43	\$3.44	2.00	\$40.19	\$80.38							\$83.82
TOTAL REBAR CHANGE	1456	LBS	\$771.89	\$771.89		\$0.25	\$364.10							\$1,135.99
Subtotals				\$1,145.29			\$1,650.18			\$556.50			\$180.00	\$3,531.97
													Overhead 10%	\$353.20
													Fee 5%	\$194.26
													Total	\$4,079.43



15. SEE EXISTING PLAN P-1175A
16. SEE GENERAL NOTES 15-16

Westwood COLLIN COUNTY HEALTHCARE PARKING GARAGE & MEDICAL EXAMINER FACILITIES - VOL. 1 CITY OF MCKINNEY, COLLIN COUNTY, TEXAS	
DATE	30 JUN 07
BY	3D CAD
CHECKED	
DESIGNED	
PROJECT NO.	
SHEET NO.	
TOTAL SHEETS	



The Christman Company
130 E John W. Carpenter Freeway, Suite 200
Irving, Texas 75062
P: (469) 501-5534

Project: 224057 Collin County - Medical Campus
2330 Bloomdale Rd.
McKinney, Texas 75071

RFI #208: ME - Loading Dock Wall Detail Clarification

Revision	0	Status	Closed on 07/28/25
To	Peter Hernandez (PGAL) Pierre Zoungrana (PGAL)	From	Aaron Capetillo (The Christman Company (DFW)) 130 E John W. Carpenter Freeway Suite 200 Irving, Texas 75062
Date Initiated	Jul 1, 2025	Due Date	Jul 11, 2025
Location	Medical Examiner	Project Stage	Course of Construction
Cost Impact	TBD	Schedule Impact	No
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From	Bob Guill (The Christman Company (DFW))		
Copies To	David Beebe (The Christman Company (DFW)), Clint Bissett (Pacheco Koch), Clint Bissett (Pacheco Koch), Paul Bonnette (PGAL), Aaron Capetillo (The Christman Company (DFW)), James Case (The Christman Company (DFW)), Ruthwik Chepuri (Walter P Moore - Dallas, TX), Kyle Dunning (Walter P Moore - Dallas, TX), Anthony Ferraro (The Broaddus Companies), Bob Guill (The Christman Company (DFW)), Andrew Hanson (Walter P Moore - Dallas, TX), Brad Harris (Collin County), Carolina Haylow (The Christman Company (DFW)), Peter Hernandez (PGAL), Jeff Jansing (Walter P Moore - Dallas, TX), Tim Konganda (PGAL), Rodney Mitchell (The Broaddus Companies), Rick Monk (Collin County), Mariah Moore (The Christman Company (DFW)), Lauren Plouff (The Broaddus Companies), Jim Russell (The Christman Company (DFW)), Jim Terhune (The Christman Company (DFW)), Pierre Zoungrana (PGAL)		

Activity**Question**

Question from Aaron Capetillo The Christman Company (DFW) on Monday, Jun 30, 2025 at 06:35 PM CDT

Please reference the attached for questions asked below regarding the retaining wall details for the loading dock area of the Medical Examiner's building. Christman suggest a coordination call be set up to discuss the questions below with the consultants affected. The list below is most of the questions that need clarification; however, it would be more beneficial to discuss in detail over a coordination call to avoid any confusion.

1. **Q1.)** Please provide a trench drain inlet detail/section cut. Structural sheets details to reference Civil. We could not find a civil detail for this trench drain. **[Westwood]**
2. **Q2.)** Are there supposed to be two walls? The architectural site plan does not specifically call out a second wall. **[Westwood/PGAL]**
3. **Q3.)** Please clarify the perforated drainpipe scope of work. Does this pipe extend parallel to the entire stretch of the loading dock retaining wall? **[Westwood/WPM]**
4. **Q4.)** Please clarify/confirm the retaining wall dimensions i.e. height, total length etc. **[PGAL]**
5. **Q5.)** Please clarify the retaining wall expansion detail i.e. wall to building. **[PGAL/WPM]**
 1. How does this retaining wall interact with the structure? Please keep in mind the interaction between the facade and concrete retaining wall.
6. **Q6.)** What is the centerline of this retaining wall? Please provide a dimensional layout. **[PGAL]**
7. **Q7.)** Civil drawings do not show a curb at these locations. **[Westwood/PGAL]**
 1. Is this the design intent to not have a curb around the landscaping area?
 2. Does this concrete island for the hypersail canopy location also not receive a curb, but instead sits flush with the loading dock area paving?
8. **Q8.)** Please advise if acceptable to use the approved concrete mix #40009 for the footing and wall. Please reference the approved submittal for more information. **[WPM]**
9. **Q9.)** Please clarify the grading details around this highlighted area. **[Westwood]**
10. **Q10.)** Is the design intent to have the top of retaining wall remain consistent throughout the entire span? Or will the above grade/paving dimension follow with the grade change? **[Westwood/PGAL]**

Attachments

[RFI 208 - ME - Loading Dock Retaining Wall Detail Clarification Attachment.pdf](#)

Official Response

Response from Pierre Zoungrana PGAL on Monday, Jul 28, 2025 at 02:30 PM CDT

see updated A1.20

Attachments

[ME-A1.20 - SITE DETAILS.pdf](#)

Official Response

Response from Clint Bissett Pacheco Koch on Monday, Jul 21, 2025 at 03:14 PM CDT

1. Trench detail included in update storm detail sheet.
2. Yes, there are two walls. Please see updated grading plan.
3. Updated storm plan includes information regarding Structural's drain detail. Wall penetration should be 2" above the finished grade of the trench rather than below grade and will surface drain to the trench.
7. Please see updated grading plan. Curb has been added around landscaping island.
9. Grading has been updated. Please see attached.
10. Please see updated grading plan.

Attachments

[SD-C5.07 STORM DETAIL SHEET 2.pdf](#), [SD-C5.00 STORM SEWER PLAN.pdf](#), [SD-C3.03 GRADING PLAN.pdf](#)

Official Response

Response from Ruthwik Chepuri Walter P Moore - Dallas, TX on Monday, Jul 14, 2025 at 08:20 AM CDT

See WPM response attached.

Attachments

[RFI 208 - ME - Loading Dock Retaining Wall Detail Clarification_WPM.pdf](#)



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P: (469) 501-5534

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McKinney, Texas 75071

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Attachments

[RFI 208 - ME - Loading Dock Retaining Wall Detail Clarification Attachment.pdf](#)

Awaiting an Official Response

Q1. CIVIL TO RESPOND.

Q2. CIVIL/ARCH TO RESPOND.

Q3. PER 2/ME-S3.01, PERFORATED DRAIN PIPE AND CONNECTION TO TRENCH DRAIN PER CIVIL.

Q4. ARCH TO RESPOND.

Q5. STRUCTURALLY, EXPANSION JOINT IS REQUIRED BETWEEN THE BUILDING AND THE RETAINING WALL.

Q6. ARCH TO RESPOND.

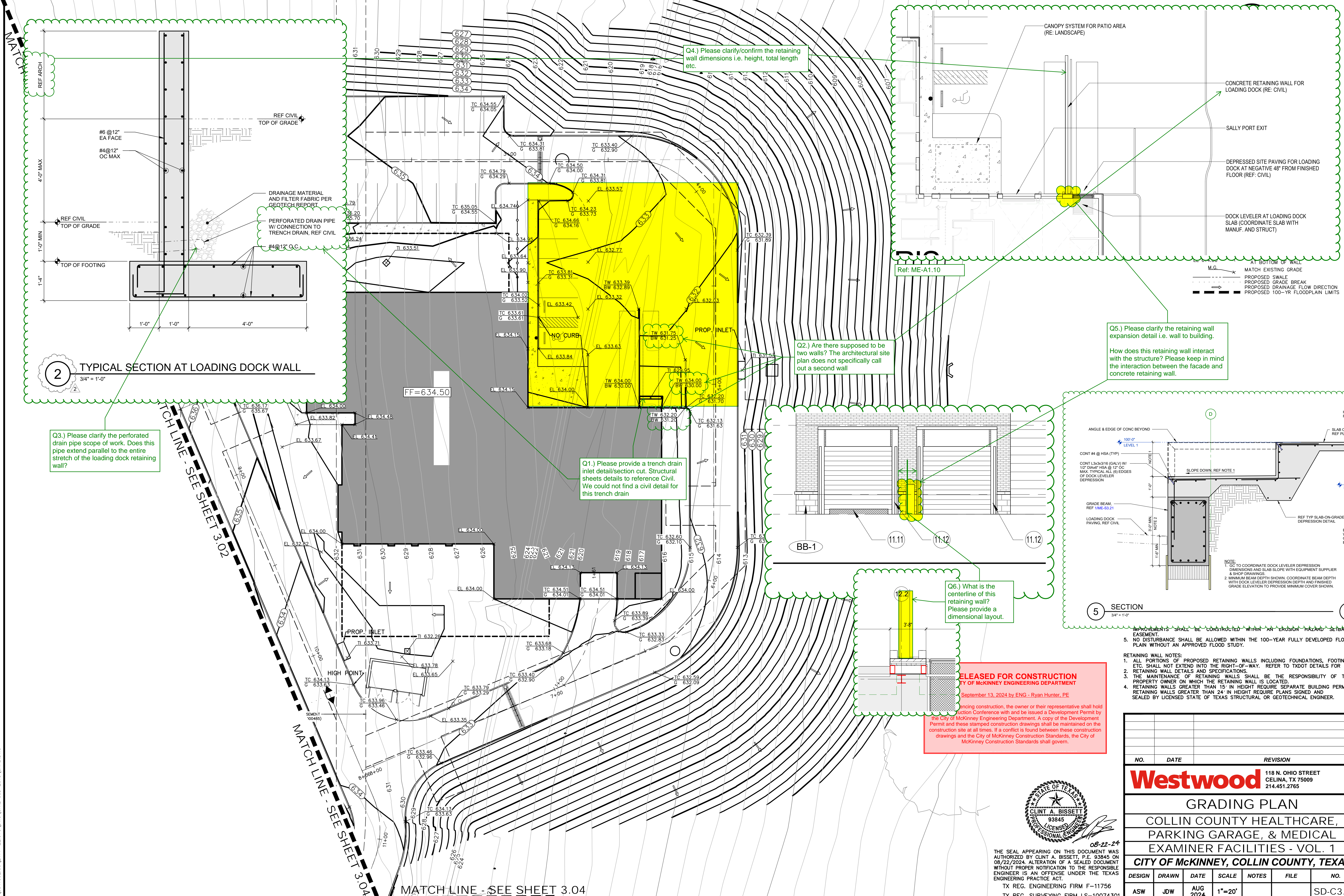
Q7. CIVIL/ARCH TO RESPOND.

Q8. ACCEPTABLE TO USE 4KSI MIX.

Q9. CIVIL TO RESPOND.

Q10. CIVIL/ARCH TO RESPOND.

RUTHWIK CHEPURI, P.E.
WPM
2025/07/11



2 TYPICAL SECTION AT LOADING DOCK WALL
3/4" = 1'-0"

Q3.) Please clarify the perforated drain pipe scope of work. Does this pipe extend parallel to the entire stretch of the loading dock retaining wall?

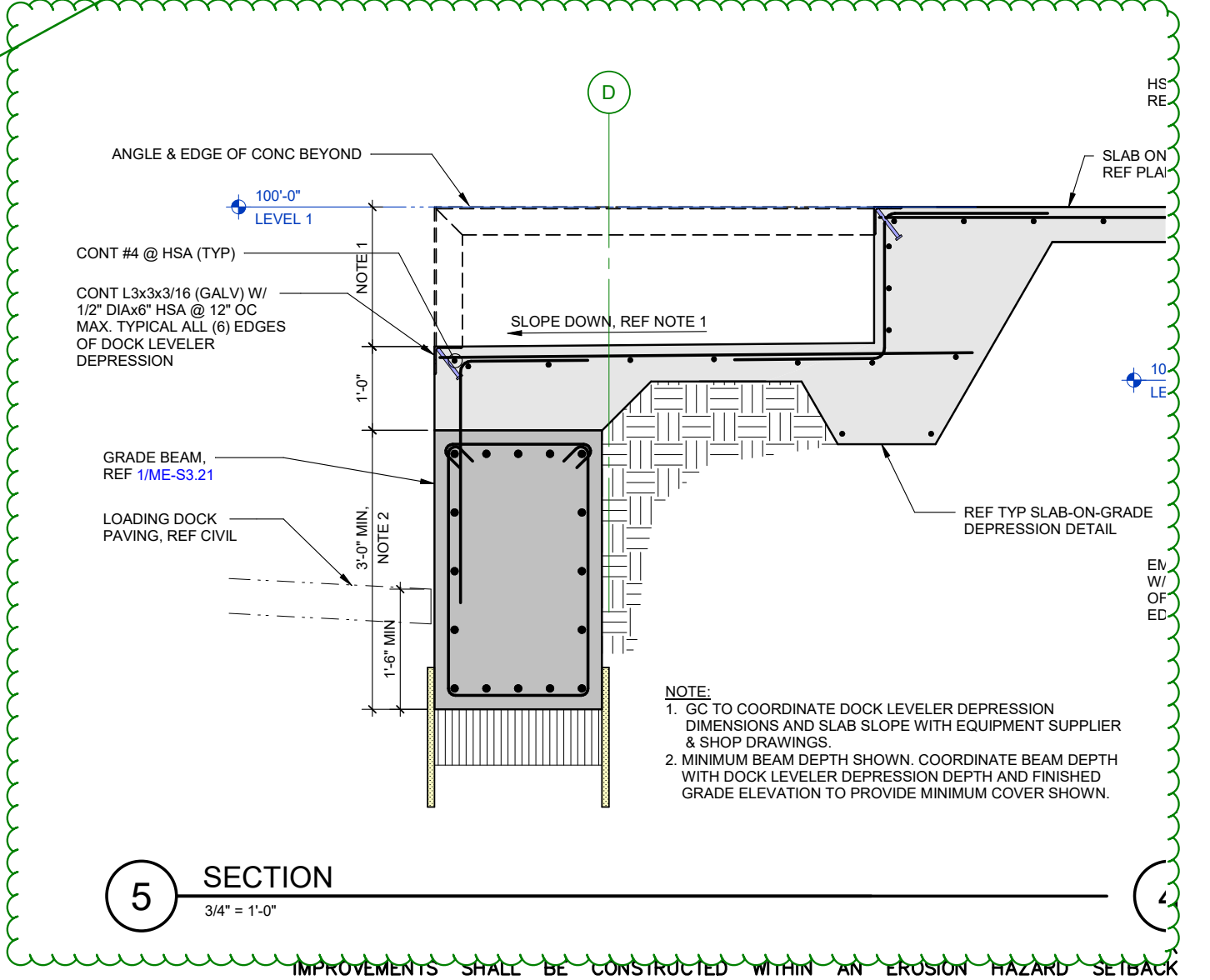
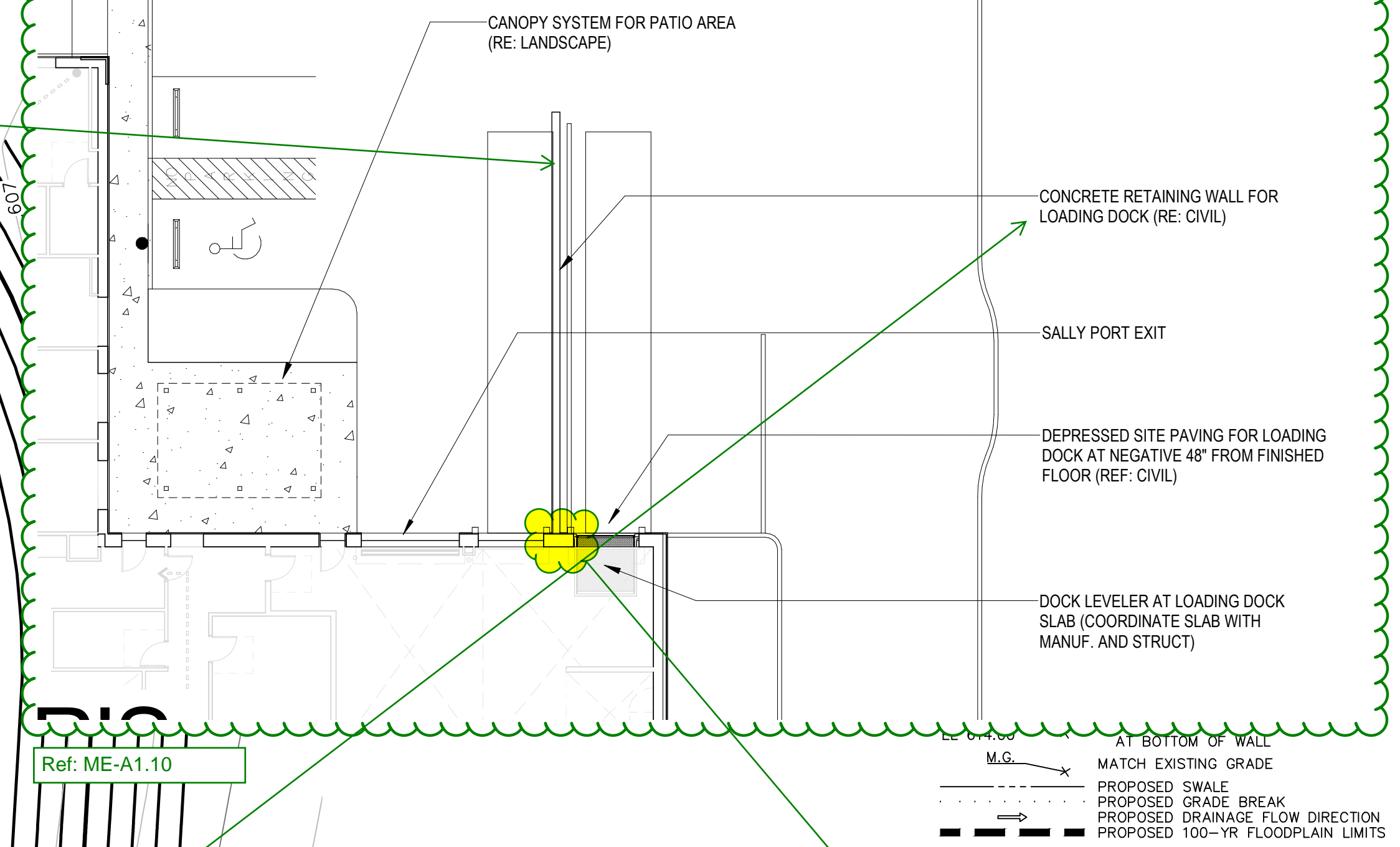
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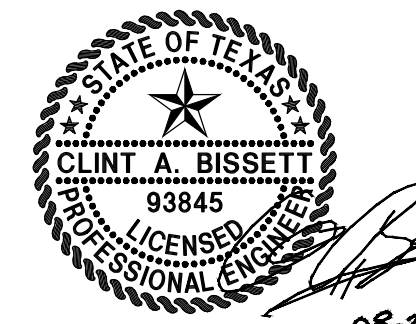
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Q6.) What is the centerline of this retaining wall? Please provide a dimensional layout.



RELEASED FOR CONSTRUCTION
CITY OF MCKINNEY ENGINEERING DEPARTMENT
September 13, 2024 by ENG - Ryan Hunter, PE

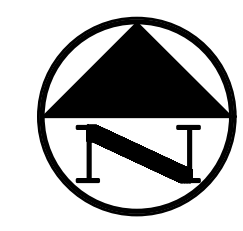


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CLINT A. BISSETT, P.E. 93845 ON 08/22/2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.
TX REG. ENGINEERING FIRM F-11756
TX REG. SURVEYING FIRM LS-10074301

IMPROVEMENTS SHALL BE CONSTRUCTED WITHIN AN EROSION HAZARD SETBACK EASEMENT
5. NO DISTURBANCE SHALL BE ALLOWED WITHIN THE 100-YEAR FULLY DEVELOPED FLOOD PLAIN WITHOUT AN APPROVED FLOOD STUDY.

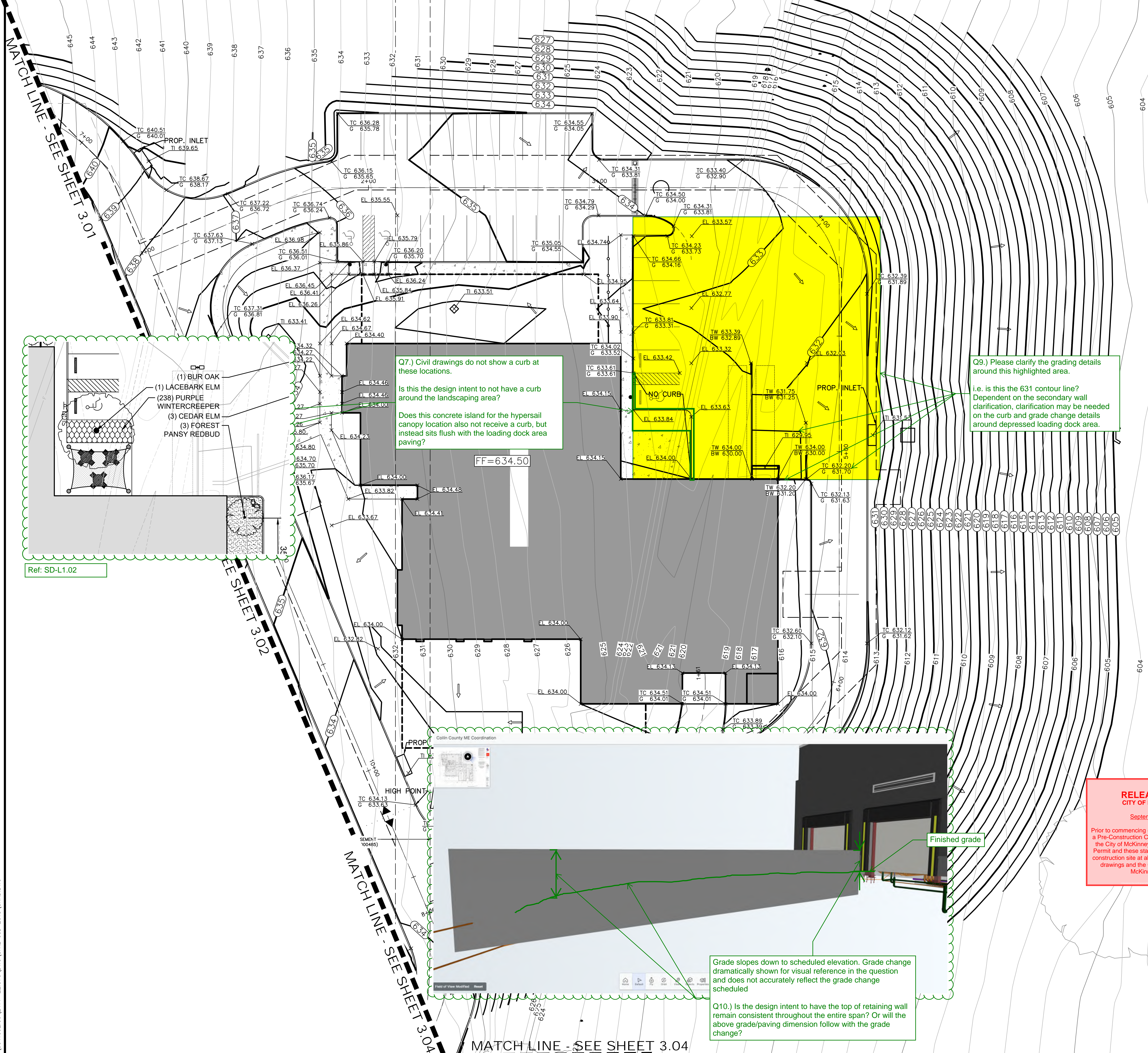
- RETAINING WALL NOTES:
- ALL PORTIONS OF PROPOSED RETAINING WALLS INCLUDING FOUNDATIONS, FOOTINGS ETC. SHALL NOT EXTEND INTO THE RIGHT-OF-WAY. REFER TO TxDOT DETAILS FOR
 - RETAINING WALL DETAILS AND SPECIFICATIONS.
 - THE MAINTENANCE OF RETAINING WALLS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER ON WHICH THE RETAINING WALL IS LOCATED.
 - RETAINING WALLS GREATER THAN 15' IN HEIGHT REQUIRE SEPARATE BUILDING PERMIT. RETAINING WALLS GREATER THAN 24' IN HEIGHT REQUIRE PLANS SIGNED AND SEALED BY LICENSED STATE OF TEXAS STRUCTURAL OR GEOTECHNICAL ENGINEER.

NO.	DATE	REVISION				
Westwood 118 N. OHIO STREET CELINA, TX 75009 214.451.2765						
GRADING PLAN						
COLLIN COUNTY HEALTHCARE, PARKING GARAGE, & MEDICAL EXAMINER FACILITIES - VOL. 1						
CITY OF MCKINNEY, COLLIN COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
ASW	JDW	AUG 2024	1"=20'			SD-C3.03



LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
SI	TRAFFIC SIGN
IR	1/2-INCH IRON ROD
(C.M.)	W/PACHECO KOCH* CAP SET
---	CONTROLLING MONUMENT
---	PROPERTY LINE
---	FENCE
---	OVERHEAD UTILITY LINE
---	EXIST CONTOUR
---	EXIST SPOT ELEVATION
---	EXIST TOP OF CURB ELEVATION
---	EXIST GUTTER ELEVATION
---	PROPOSED CONTOUR
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED GUTTER ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED TOP OF WALL ELEVATION
---	PROPOSED GROUND ELEVATION AT BOTTOM OF WALL
---	M.G.
---	PROPOSED SWALE
---	PROPOSED GRADE BREAK
---	PROPOSED DRAINAGE FLOW DIRECTION
---	PROPOSED 100-YR FLOODPLAIN LIMITS



Q7.) Civil drawings do not show a curb at these locations.
Is this the design intent to not have a curb around the landscaping area?
Does this concrete island for the hypersail canopy location also not receive a curb, but instead sits flush with the loading dock area paving?

Q9.) Please clarify the grading details around this highlighted area.
i.e. is this the 631 contour line? Dependent on the secondary wall clarification, clarification may be needed on the curb and grade change details around depressed loading dock area.

Grade slopes down to scheduled elevation. Grade change dramatically shown for visual reference in the question and does not accurately reflect the grade change scheduled.
Q10.) Is the design intent to have the top of retaining wall remain consistent throughout the entire span? Or will the above grade/paving dimension follow with the grade change?

- (1) BUR OAK
- (1) LACEBARK ELM
- (238) PURPLE WINTERCREEPER
- (3) CEDAR ELM
- (3) FOREST PANSY REDBUD

Ref: SD-L1.02

RELEASED FOR CONSTRUCTION
CITY OF MCKINNEY ENGINEERING DEPARTMENT
September 13, 2024 by ENG - Ryan Hunter, PE
Prior to commencing construction, the owner or their representative shall hold a Pre-Construction Conference with and be issued a Development Permit by the City of McKinney Engineering Department. A copy of the Development Permit and these stamped construction drawings shall be maintained on the construction site at all times. If a conflict is found between these construction drawings and the City of McKinney Construction Standards, the City of McKinney Construction Standards shall govern.

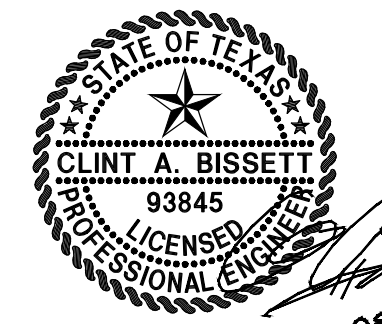
GRADING NOTES

- CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE THROUGH THE DURATION OF CONSTRUCTION.
- WORK SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY ALPHA TESTING, DATED JULY 08, 2022.
- MAXIMUM ALLOWABLE SLOPE FOR ALL ON-SITE GRADING ACTIVITY IS 4H:1V. MAXIMUM ALLOWABLE SLOPE WITHIN THE PARKWAY OF PUBLIC STREETS IS 2%.
- NO DIRT FILL, BUILDING, FENCE, WALL, DECK, SWIMMING POOL, OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED WITHIN AN EROSION HAZARDOUS SETBACK EASEMENT.
- NO DISTURBANCE SHALL BE ALLOWED WITHIN THE 100-YEAR FULLY DEVELOPED FLOOD PLAIN WITHOUT AN APPROVED FLOOD STUDY.

RETAINING WALL NOTES:

- ALL PORTIONS OF PROPOSED RETAINING WALLS INCLUDING FOUNDATIONS, FOOTINGS ETC. SHALL NOT EXTEND INTO THE RIGHT-OF-WAY. REFER TO TxDOT DETAILS FOR
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NO.	DATE	REVISION				
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TX REG. SURVEYING FIRM LS-10074301

Q8.) Please advise if acceptable to use the approved concrete mix #40009 for the footing and wall. Please reference the approved submittal for more information.



IRVING

Concrete Mix Submittal

Submittal Information

Submittal Name COLLIN COUNTY MEDICAL CAMPUS (HEALTHCARE BLDG) (2)
Date Submitted 10/15/2024
Customer WINSTON C/O POTTER STRUCTURES, LTD
Project Name COLLIN COUNTY MEDICAL CAMPUS -MCKINNEY
Use DRILLED PIERS, SPREAD FOOTINGS, PIER CAPS, GRADE BEAMS

Mix Information

Mix ID 40009
Mix Name 4000 PSI CONCRETE 40% ASH NA
Compressive Strength (F'c) 4000 psi @ 28 Days
Aggregate Nominal Size 1" (25mm)
Air Entrained

Mix Properties

Slump	3-5" (* 5-7" with MR-020)	Sack Content	7.3	94 lb/sack	Total Mass	4055	lb
Air	0-3%	Total Water	29.0	gal	Total Volume	27.21	ft ³
WCM Ratio	0.41	Water/Sack	4.0	gal	Unit Weight	149.0	lb/ft ³

Group	Material Description	Specific Gravity	Mass lb	Volume ft ³
Cement	Blended Hydraulic Type II CEMENT - 101000	3.09	415	2.152
Additive	Fly Ash F-FLYASH	2.31	275	1.908
Aggregate	Coarse Aggregate 57 LIMESTONE - C33 SPEC	2.65	1550	9.373
	Coarse Aggregate 8 STONE - 500008	2.68	450	2.691
	Fine Aggregate CONCRETE SAND - C33 SPEC	2.66	1120	6.748
Admixture	Hydration Control RETARDER - 902001 Dosage: 1.5 fl oz/100 lb CM	1	0.075	0.01081
	Water Reducer WATER REDUCER Dosage: 6 fl oz/100 lb CM	1	2.698	0.04324
Water	Municipal Water WATER - 991000	1	242	3.878
Air	Air			0.405