

CALLED 10.010 AC.
MIGUEL OSEGUERA &
JUANITA OSEGUERA
DOC. NO. 2006071801003790
O.P.R.C.C.T.

CALLED 10.010 AC.
JOSE GUADALUPE SALAS
DOC. NO. 2011110100174520
O.P.R.C.C.T.

LEGEND

P.O.B.	POINT OF BEGINNING
⊙	1/2" STEEL ROD SET
⊙	1/2" STEEL ROD FOUND
—	P.A.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
---	M.R.C.C.T. MAP RECORDS, COLLIN COUNTY, TEXAS
---	BOUNDARY LINE
---	PROPERTY LINE

LEGAL DESCRIPTION

STATE OF TEXAS
COUNTY OF COLLIN

Whereas, CADENCE INFRA, LLC, are the owners of a tract of land situated in the Elisha G. Cates Survey, Abstract No. 174, Collin County, Texas, and being all of Lot 60 of Brooks Farm, Phase II conveyed to them by Leslie Ann Gibson, and being more particularly described as follows:

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That GILBERT GARCIA APPELGADE & LESLIE APPELGADE acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as the REPLAT OF LOT 60, BROOKS FARM, PHASE II, an addition to Collin County, Texas and does hereby dedicate to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. GILBERT GARCIA APPELGADE & LESLIE APPELGADE does herein certify the following:

- The streets and alleys, if any, are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications are free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated, for the public use forever, for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements.
- Utility easements may be used for the mutual use and accommodation of the all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's use thereof.
- The public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements.
- The Public Utilities shall at all times have the full right of ingress and egress to or from their respective easement for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.
- The owners of the lots adjacent to or upon which drainage easements are created by this plat or the homeowner's association will be responsible for the maintenance and or the reconstruction of the drainage improvements constructed in said easements for the purpose of assuring the flow of storm water to the degree required by the design and original construction of Collin County will not be responsible for maintenance or repair of drainage improvements on private lots or adjacent thereto.
- Collin County shall have the full right of ingress and egress to or from a drainage easement if necessary to maintain or repair the effect the drainage system in that easement is having on the use and maintenance of a roadway and the drainage systems of the roadway.
- Roadways of the Subdivision are public roads and neither applicant or any future owner has the right to obstruct the Roadways by a fence, gate, or otherwise.
- All modifications to this document shall be by means of plat and approved by Collin County.
- This plat is subject to the Subdivision Regulations of Collin County, Texas.
- Water Supply to be provided by Mustang Special Utility District.
- Sewer service at a minimum to be provided by individual on-site sewage treatment systems (OSSF), permitted and approved by Collin County. OSSF evaluations, reports and permits must be obtained and submitted to the County for each lot regarding the suitability of the system based on user and type of development.
- Electrical service is provided by Grayson Collin Electric Cooperative.

~ OSSF NOTES ~
TO BE PLACED AFTER OSSF REVIEW

Situated in the County of Collin, State of Texas, being a part of Elisha G. Cates Survey, Abstract No. 174, and being all of Lot 60 of Brooks Farm, Phase II, according to the plat thereof recorded in Volume M, Page 379, Map Records, Collin County, Texas, and being the same tract of land described in the deed to Cadence Infra, LLC, recorded in Document No. 2025000146892, Official Public Records, Collin County, Texas, and being described by metes and bounds as follows:

Beginning at a set 1/2" steel rod for the northwest corner of said Lot 60, common to the northern-most northeast corner of Lot 59 in said Brooks Farm, Phase II, and on the southerly right-of-way line of County Road No. 818, and from which a found 1/2" steel rod for the northeast corner of Lot 57 in said Brooks Farm, Phase II bears North 89°50'10" West, a distance of 100.04 feet;

Thence South 89°50'10" East, with the northerly line of said Lot 60, and with the southerly right-of-way line of said County Road No. 818, a distance of 289.99 feet to a set 1/2" steel rod for the northeast corner of said Lot 60, common to the northern-most northwest corner of Lot 61 in said Brooks Farm, Phase II, and from which a found 1/2" steel rod bears North 02°02' West, a distance of 4.7 feet;

Thence South 00°16'37" West, with the easterly line of said Lot 60, and with a westerly line of said Lot 61, along or near a fence, a distance of 701.41 feet to a found 1/2" steel rod for the southeast corner of said Lot 60;

Thence North 89°31'30" West, with the southerly line of said Lot 60, and with a northerly line of said Lot 61, along or near a fence, a distance of 289.41 feet to a found 1/2" steel rod for the southwest corner of said Lot 60, common to the western-most northwest corner of said Lot 61, and on an easterly line of aforesaid Lot 59;

Thence North 00°13'47" East, with the westerly line of said Lot 60, and with an easterly line of said Lot 59, a distance of 699.84 feet to the Point of Beginning and containing 4.660 acres of land (202,972 square feet), more or less.

All 1/2" steel rods set with a plastic yellow cap stamped "RPLS 4709"

CERTIFICATION OF COLLIN COUNTY COMMISSIONERS COURT

I hereby certify that the attached and foregoing Final Plat of the REPLAT OF LOT 60, BROOKS FARM, PHASE II to Collin County, Texas was approved by the vote of the Collin County Commissioners Court on the _____ day of _____, 2026 at a meeting held in accordance with the Texas Open Meetings Act. This approval does not create an obligation upon Collin County for the construction and/or maintenance of any roads or other improvements shown of the Final Plat.

COLLIN COUNTY JUDGE

Health Department Certification:

I, as a representative of Collin County Development Services, do hereby certify that the on-site sewage facilities described on this plat conform to the applicable OSSF laws of the State of Texas, that site evaluations have been submitted representing the site conditions in the area in which on-site sewage facilities are planned to be used.

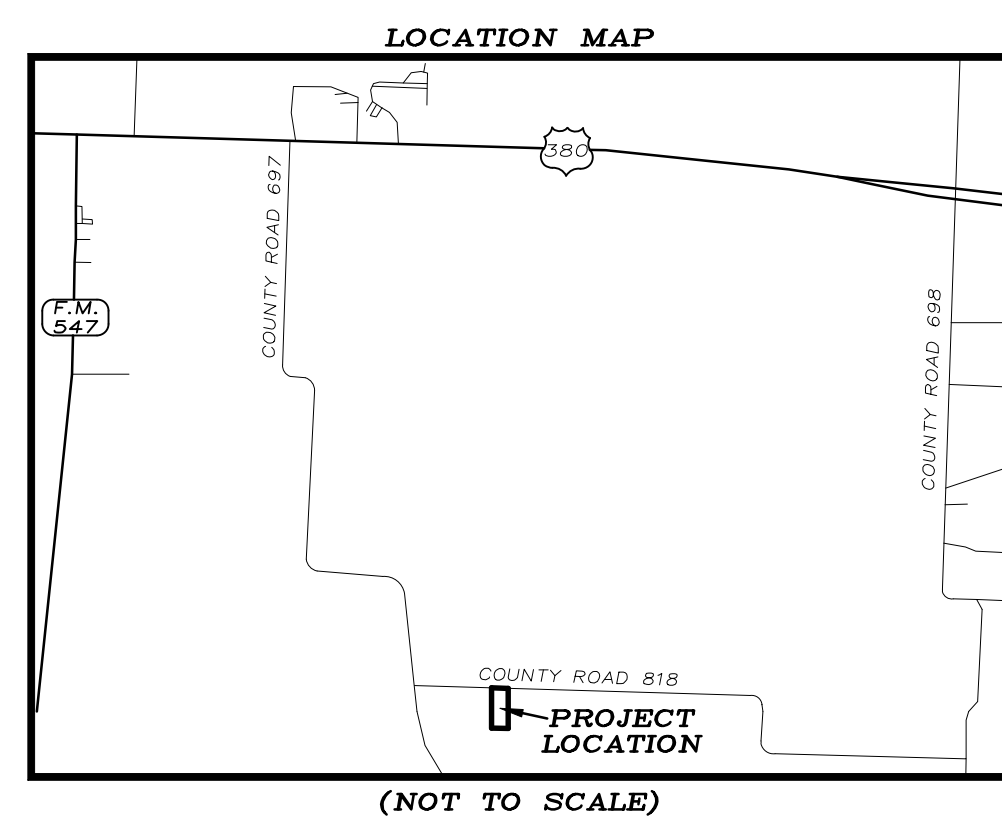
Designated Representative for Collin County Development Services

FLOOD STATEMENT:

I have examined the FEMA Flood Insurance Rate Map for Collin County, Texas, Community Number 48085C, effective date 06/02/2009 and that map indicates that this property is within "Non-shaded Zone X" defined as "Areas determined to be outside the 0.2% annual chance flood" as shown on Panel Q340 J & Q345 J of said map. This flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage, on rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ONCOR ELECTRIC
3873 N U.S. HWY 69
GREENVILLE, TX 75401
PH: (214) 601-9265

CADDO BASIN SUD
156 COUNTY ROAD 1118
GREENVILLE, TX 75402
PH: (903) 527-3504



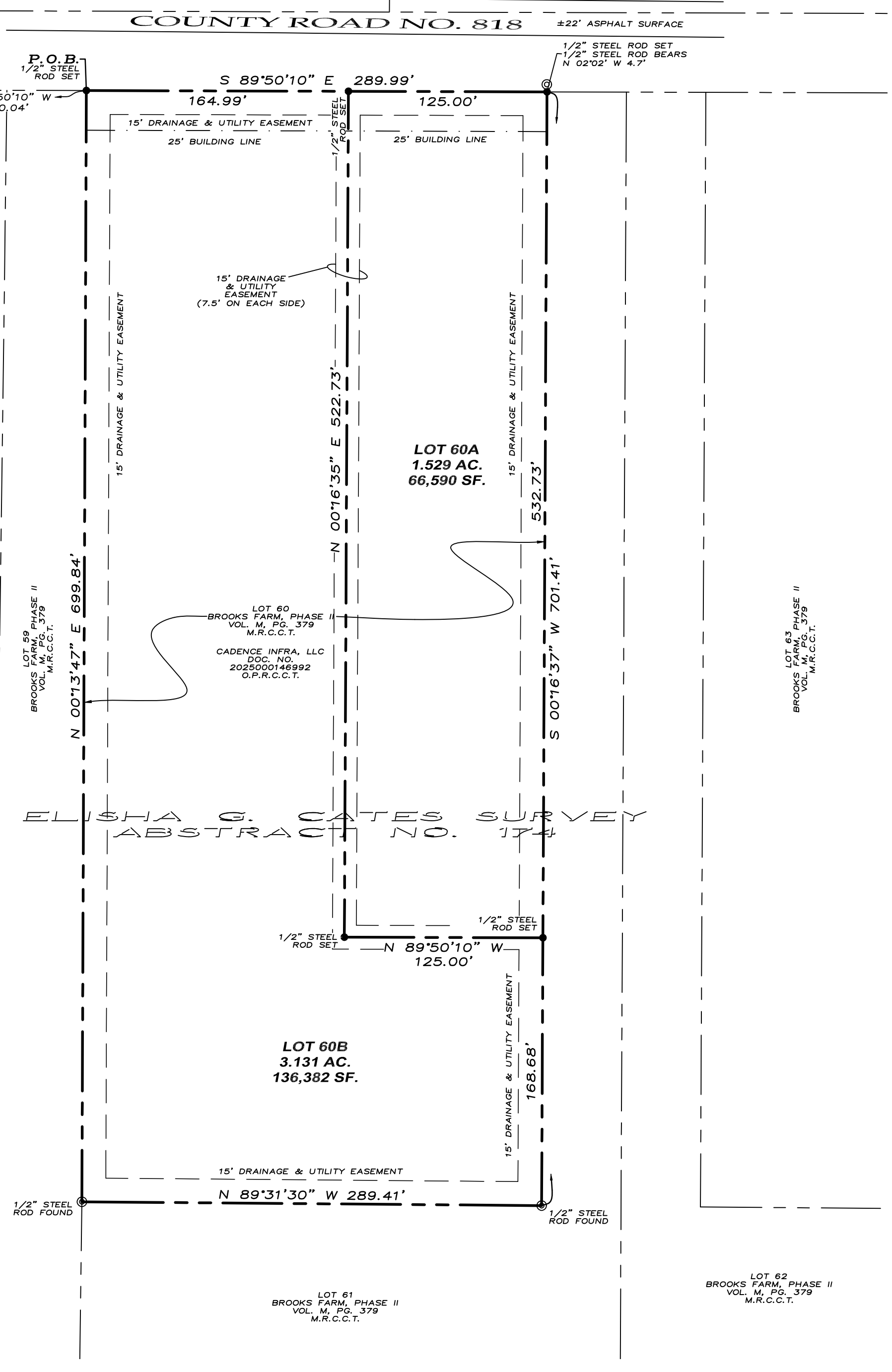
- ~ OSSF NOTES ~
- All lots must utilize alternative type On-Site Sewage Facilities.
 - Must maintain state-mandated setback of all On-Site Sewage Facility components from any/all easements and drainage areas, water distribution lines, sharp breaks and/or creeks/rivers/ponds, etc. (Per State regulations). No variances will be granted for setbacks or for OSSF reduction.
 - There are no easements on either lot.
 - There was an existing structure/dwelling and an existing, associated OSSF on lot 1 at the time of approval.
 - The existing OSSF for lot 1 is an alternative system that is suitable for the site and existing structure. Any changes to the existing structure or to the existing OSSF must be reviewed by CCDS prior to construction for compliance with OSSF regulations.
 - The R.S. as-builts show all OSSF components for lot 1 to be completely within the boundaries of lot 1. If any of the OSSF components are actually over any of the lot lines and continue onto another parcel, the entire system must be repaired or replaced with an approved alternative system (after review and permitting through CCDS).
 - There were no permitted/approved existing structures with associated OSSF(s) on lot 2 at the time of approval. Any existing structures or OSSF(s) on lot 2 must be reviewed and permitted by Collin County Development Services prior to any use or legally abandoned immediately if no longer in use.
 - Tree removal and/or grading for OSSF may be required on individual lots.
 - There are no water wells noted in this subdivision and no water wells are allowed without prior approval from Collin County Development Services.
 - Each lot is limited to a maximum of 5,000 gallons of treated/diposed sewage each day.
 - Individual site evaluations and OSSF design plans (meeting all State and County requirements) must be submitted to and approved by Collin County for each lot prior to construction of any OSSF system.

REPLAT
LOT 60, BROOKS FARM
PHASE II
BEING ALL OF A LOT 60
BROOKS FARM, PHASE II, RECORDED IN
VOL. M, PG. 379, M.R.C.C.T.
ELISHA G. CATES SURVEY, ABSTRACT NO. 29
AN ADDITION TO COLLIN COUNTY, TEXAS
TOTAL ACREAGE 4.660 ACRES

11/10/2025

UNDERWOOD
DRAFTING & SURVEYING

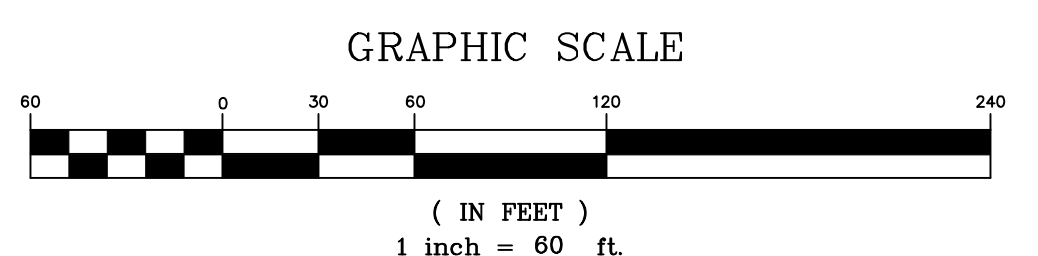
3404 INTERURBAN ROAD DENISON, TEXAS 75021 (903)465-2151



- ~ GENERAL NOTES ~
- Mail boxes shall meet USPS specifications.
 - Driveway connections must meet Collin County specifications.
 - All roadway signs shall meet Collin County specifications.
 - Collin County will only maintain street signs and poles with materials currently approved and in use by Collin County Public Works.
 - Collin County does not, and will not accept street lights for maintenance or operation.
 - A road dedicated to the public may not be obstructed, including by means of a gate.
 - Blocking the flow of water, constructing improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
 - The existing creeks or drainage channels traversing along or across the subdivision will remain as open channels and will be maintained by individual owners of the lot or lots that are traversed by or adjacent to the drainage course along or across said lots.
 - Collin County will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion in said drainage ways.
 - Collin County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flooding conditions.
 - All surface drainage easements shall be kept clear of buildings, foundations, structures, plantings, and other obstructions to the operation, access and maintenance of the drainage facility.
 - Fences and utility appurtenances may be placed within the 100-yr drainage easement provided they are placed outside the design-yr floodplains, as shown on the plat.
 - All necessary Collin County authorizations (i.e. OSSF, flood plain permits, etc.) are required for building construction, on-site sewage facilities, and driveway culverts.
 - All private driveway tie-ins to a County maintained roadway, or roadway with expectations of being accepted into the County roadway network, must be even with the existing driving surface.
 - The finish floor elevations of all house pads shall be at least 18" above the highest elevation of the surrounding ground around the house after final grading and two feet (2') above the 100-yr base flood elevation.
 - Except for ditches that are adjacent to Roadways and/or culverts and other improvements that are a part of a Roadway, the County generally will not accept drainage improvements for maintenance, including retention and detention ponds. Therefore, the Applicant must provide for this work to be done either by way of an HOA, by providing in the Deed Restrictions that each lot owner is responsible for maintaining the portions of the drainage improvements on or adjacent to their lot, or other method.
 - Individual lots in a Subdivision are considered part of a larger common plan of development, regardless of when construction activity takes place on that lot in relation to the other lots, and are required to have BMP's and comply with the Construction General Permit.
 - The Developer, Contractor, or Builder of any structure on a single lot in a developing subdivision shall prepare an SWSP and submit to the Director of Engineering prior to receiving any permits.

OWNERS/APPLICANT
CADENCE INFRA, LLC
4900 WINDHAVEN PKWY, #12202
LEWISVILLE, TX 75056

SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS



SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRESENTS:

I am a Registered Professional Land Surveyor licensed by the State of Texas. This Plat is a true and accurate representation of the property described and plotted hereon as determined by an actual survey made on the ground under my direction and supervision. The property is not within the 100 year floodplain

Douglas W. Underwood
Registered Professional
Land Surveyor, No. 4709

Date

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared DOUGLAS W. UNDERWOOD known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this day of _____, 2026.

Notary Public in and for the State of Texas
Commission Expires: _____