

OSCAR DE LAUNA, JR.  
AND GLADIS DE LUNA  
(INST. NO. 202300108423)  
O.P.R.C.C.T.

TRACT 2  
SOUTH RANCHVIEW ESTATES  
(CAB. A, PG. 394)  
P.R.C.C.T.

ELENOR NOREEN O'CONNOR EVANS  
(INST. NO. 20151014001298720)  
O.P.R.C.C.T.

**P.O.C.**  
POINT FOR CORNER  
(5/8-INCH IRON ROD W/  
"SPARR SURVEYING" CAP FOUND  
N 26°40' W 0.7')

N 89°36'29" E 992.48'

S 89°36'29" W 266.08'

(A)

15XX

LOT 1X

10' U.E.  
100.80'

172.65'

C5

S 88°03'07" E 173.74'

91.20'

174.84'

APPROXIMATE LOCATION  
FEMA FLOOD LINE  
PER FEMA MAP NO. 48050C0415J  
DATED JUNE 2, 2009

(B)

24XX

LOT 2X

ACCESS FROM FM 2551  
(INST. NO. NO. \_\_\_\_\_)  
O.P.R.C.C.T.

S 00°33'25" E 239.72'

5/8-INCH IRON  
ROD FOUND

CARPENTER FARMS, LTD.  
(INST. NO. 2002010300016820)  
O.P.R.C.C.T.

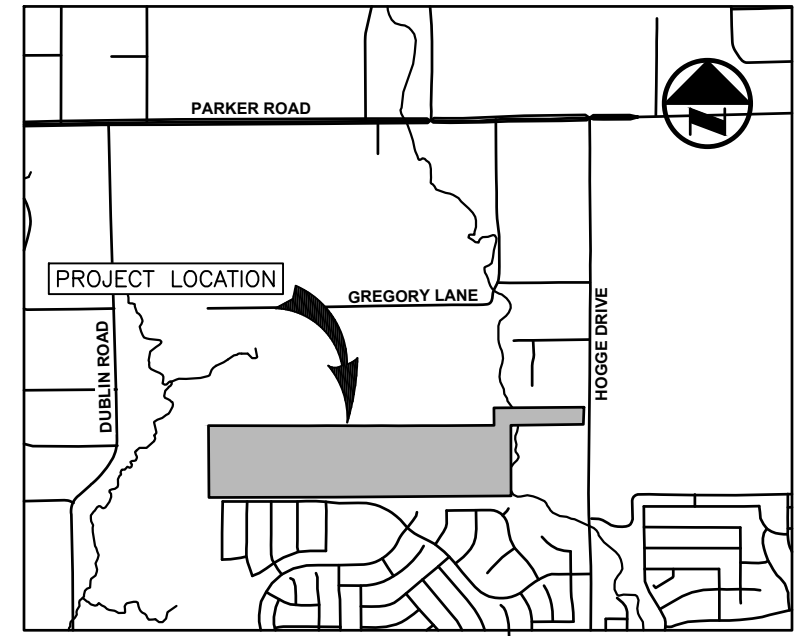
S 89°16'08" W 756.94'

MATCH LINE - SEE SHEET 2

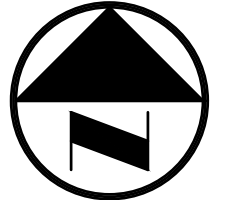
S 00°08'22" E 358.81'

MATCH LINE - SEE SHEET 8

**FARM-TO MARKET ROAD 2551**  
(VARIABLE-WIDTH RIGHT-OF-WAY)



**VICINITY MAP**  
(NOT TO SCALE)



0 20 40 80  
SCALE: 1" = 40'

**LEGEND**

- MONUMENT OF RECORD DIGNITY
- PROPERTY CORNER
- P.O.C. POINT OF COMMENCING
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- - - PROPERTY LINE
- · - ABSTRACT LINE
- · - · - EXISTING EASEMENT LINE
- · - · - PROPOSED EASEMENT LINE
- · - · - FEMA FLOOD LINE
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
- D.R.C.C.T. DEED RECORDS OF COLLIN COUNTY, TEXAS

**FINAL PLAT**  
**RESTORE THE GRASSLANDS**

624 RESIDENTIAL LOTS

LOTS 1-13, BLOCK A; LOTS 1-22, BLOCK B; LOTS 1-31, BLOCK C; LOTS 1-22, BLOCK D; LOTS 1-21, BLOCK E; LOTS 1-41, BLOCK F; LOTS 1-52, BLOCK G; LOTS 1-30, BLOCK H; LOTS 1-22, BLOCK I; LOTS 1-16, BLOCK J; LOTS 1-27, BLOCK K; LOTS 1-55, BLOCK L; LOTS 1-27, BLOCK M; LOTS 1-14, BLOCK N; LOTS 1-13, BLOCK O; LOTS 1-14, BLOCK P; LOTS 1-20, BLOCK Q; LOTS 1-18, BLOCK R; LOTS 1-16, BLOCK S; LOTS 1-10, BLOCK T; LOTS 1-14, BLOCK U; LOTS 1-13, BLOCK V; LOTS 1-14, BLOCK W; LOTS 1-20, BLOCK X; LOTS 1-18, BLOCK Y; LOTS 1-20, BLOCK Z; LOTS 1-28, BLOCK AA; LOTS 1-28, BLOCK BB;

35 OPEN SPACE/HOA LOTS

LOTS 14XX-15XX, BLOCK A; LOTS 23XX-24XX, BLOCK B; LOT 32XX, BLOCK C; LOT 23XX, BLOCK D; LOT 22XX, BLOCK E; LOT 42X-43XX, BLOCK F; LOT 41XX, BLOCK G; LOT 31XX, BLOCK H; LOT 23XX, BLOCK I; LOT 28XX, BLOCK K; LOT 56XX, BLOCK L; LOT 26XX, BLOCK M; LOT 15XX, BLOCK N; LOT 14XX, BLOCK O; LOT 15XX, BLOCK P; LOT 21XX, BLOCK Q; LOT 19XX, BLOCK R; LOT 17XX, BLOCK S; LOT 11XX, BLOCK T; LOT 15XX, BLOCK U; LOT 14XX, BLOCK V; LOT 15XX, BLOCK W; LOT 21XX, BLOCK X; LOT 19XX, BLOCK Y; LOT 21XX, BLOCK Z; LOT 29XX, BLOCK AA; LOTS 30XX-35XX, BLOCK BB;

**GENERAL NOTES:**

- Bearing system for this survey is based on the North American Datum of 1983, NAD2011 (Epoch 2010.00), Texas State Plane Coordinate System, North Central Zone (4202) with an applied combined scale factor of 1.000152710. Distances and areas shown are surface values in U.S. Survey Feet.
- The subject tract lies with Zone X, Zone A, and Zone AE as delineated on Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, Map Number 48050C0415J with a Map Revised date of June 2, 2009.
  - Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
  - Zone A - Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood. The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. This zone has no base flood elevations determined.
  - Zone AE - (Special flood hazard areas subject to inundation by the 1% annual chance flood event) - Base flood elevations determined.
- Proposed Collin County 100-year flood plain per flood study titled Preliminary Flood Study for Maxwell Creek at Turner Tract, dated February 2026, prepared by LJA Engineering.
- Selling a portion of this addition by metes and bounds is a violation of State

- law, and is subject to fines and/or withholding of utilities and building permits.
- Total acreage of the subdivision is 101.802 acres, the total number of lots within the proposed subdivision are 648, the smallest lot shown on the plat is 0.034 acres and the largest is 9.829 acres.
- Mail boxes shall meet USPS specifications.
- Driveway connections must meet Collin County specifications.
- All roadway signs shall meet Collin County specifications.
- Collin County will only maintain street signs and poles with materials currently approved and in use by Collin County Public Works.
- Collin County does not, and will not accept street lights for maintenance or operation.
- A road dedicated to the public may not be obstructed, including by means of a gate.
- Blocking the flow of water, constructing improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
- The existing creeks or drainage channels traversing along or across the subdivision will remain as open channels and will be maintained by individual owners of the lot or lots that are traversed by or adjacent to the drainage course along or across said lots.
- Collin County will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion in said drainage ways.

- Collin County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flooding conditions.
- All surface drainage easements shall be kept clear of buildings, foundations, structures, plantings, and other obstructions to the operation, access and maintenance of the drainage facility.
- Fences and utility appurtenances may be placed within the 100-year drainage easement provided they are placed outside the design-year floodplains, as shown on the plat.
- All necessary Collin County authorizations (i.e. OSSF, flood plain permits, etc.) are required for building construction, on-site sewage facilities, and driveway culverts.
- All private driveway tie-ins to a County maintained roadway, or roadway with expectations of being accepted into the County roadway network, must be even with the existing driving surface.
- The finish floor elevations of all house pads shall be at least 18" above the highest elevation of the surrounding ground around the house after final grading and two feet (2') above the 100-year base flood elevation.
- Except for ditches that are adjacent to Roadways and/or culverts and other improvements that are a part of a Roadway, the County generally will not accept drainage improvements for maintenance, including retention and detention ponds. Therefore, the Applicant must provide for this work to be done either by way of Restore the Grasslands HOA or Collin County MUD No. 7; by providing in the Deed Restrictions that each lot owner is responsible

- for maintaining the portions of the drainage improvements on or adjacent to their lot; or other method.
- Individual lots in a Subdivision are considered part of a larger common plan of development, regardless of when construction activity takes place on that lot in relation to the other lots, and are required to have BMP's and comply with the Construction General Permit.
- The Developer, Contractor, or Builder of any structure on a single lot in a developing subdivision shall prepare an SW3P and submit to the Director of Engineering prior to receiving any permits.
- Detention pond and facilities will be maintained by Collin County MUD No. 7.
- Collin County will not be responsible for maintenance or repairs of Centralized Mailboxes.
- The maintenance of paving, grading and drainage improvements and/or easements shown on this plat are the responsibility of Collin County MUD No. 7.
- All water and sanitary sewer utility easements shown hereon are hereby dedicated by this plat for the exclusive use of the City of Celina.
- All drainage easements and right-of-way shown hereon are hereby dedicated by this plat for the exclusive use of Collin County MUD No. 7.
- Lots ending with an "X" are non-residential lots. Maintenance of "X" lots shall be responsibility of the Restore the Grasslands HOA or Collin County MUD No. 7.

- No vertical objects with a height of more than two (2) feet shall be placed inside the Sight Visibility Easements including fences, trees, shrubs, parked vehicles, mailboxes, above ground utility appurtenances, signs other than those necessary for traffic control and identification of roadway names, etc.
- Cluster mailboxes shall be maintained by the HOA.
- All homes/buildings must be equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3 of the 2024 International Fire Code (IFC).
- All residential structures shall be fitted with multi-purpose sprinkler system.
- For each lot that has a retaining wall built within this platted area, a 5' wall maintenance easement shall exist on the adjoining lot. See typical wall maintenance easement detail.
- The owner of the lot on which a retaining wall is located owns the retaining wall and shall be responsible for maintaining or replacing the retaining wall on its lot.
- Lots labeled with a singular X and labeled "X" shall be owned and maintained by the HOA / community association. Lots with double Xs, labeled "XX" shall be owned and maintained by Collin County mud no. 7.
- Fence and maintenance for side yards adjacent to rights-of-way and key lots will be maintained by the homeowner(s) of the lot that the fence is located.
- The streets and rights of ways are dedicated to the public for street purposes. Collin County Municipal Utility District No. 7 (the "District") will maintain the streets, sanitary sewer, sidewalks, barrier free ramps, signage, and striping within the rights-of-way.

**ELECTRIC**  
**GRAYSON-COLLIN**  
**ELECTRIC COOPERATIVE**  
PO Box 548  
Van Alstyne, TX 75495  
Phone: 903-482-7183

**GAS**  
**COSERV**  
PO Box 734803  
Corinth, TX 76210  
Phone: 940-321-7800

**WATER**  
**COLLIN COUNTY MUD NO. 7**  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**SANITARY SEWER**  
**COLLIN COUNTY MUD NO. 7**  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**OWNER**  
**RESTORE THE**  
**GRASSLANDS LLC**  
8222 Douglass Avenue, Suite 300  
Dallas, TX 75225  
Phone: 214-460-3621

**APPLICANT**  
**BGE, Inc.**  
Contact: Garrett Scoggins, P.E.  
Telephone: 972-464-4858  
Email: gscoggins@bgeinc.com

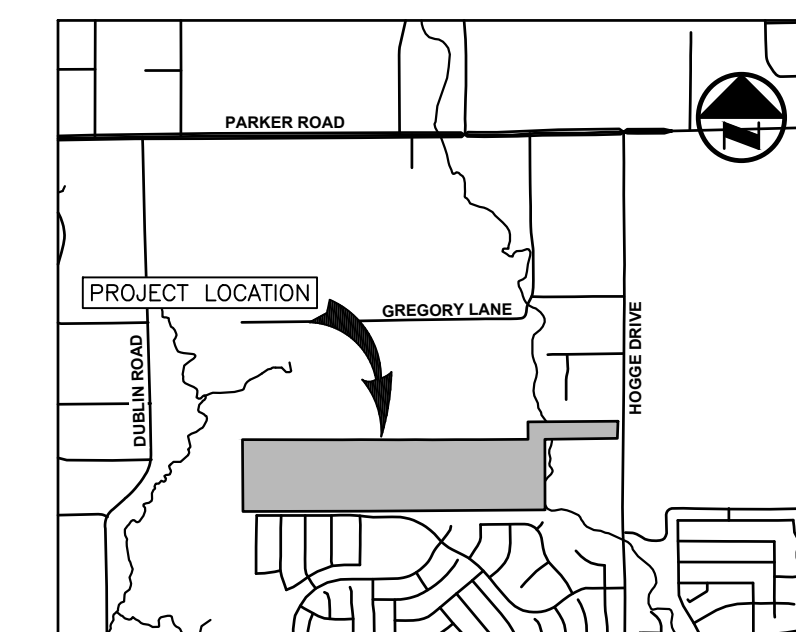
BEING 101.802 ACRES SITUATED IN THE  
PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10  
COLLIN COUNTY, TEXAS  
MAY 2026  
SHEET 1 OF 12



**SURVEYOR**  
**BGE, Inc.**  
2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBPELS Firm No. 10106500

Contact: Russ Tidwell, R.P.L.S.  
Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

Copyright 2026



VICINITY MAP  
(NOT TO SCALE)



0 20 40 80  
SCALE: 1" = 40'

**LEGEND**

□	MONUMENT OF RECORD DIGNITY
○	PROPERTY CORNER
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
---	BOUNDARY LINE
---	PROPERTY LINE
---	ABSTRACT LINE
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	FEMA FLOOD LINE
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
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BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
 MAY 2026  
 SHEET 2 OF 12

**SURVEYOR**  
**BGE, Inc.**  
 2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
 Tel: 972-464-4800 • www.bgeinc.com  
 TBPELS Firm No. 10106500  
 Copyright 2026  
 Contact: Russ Tidwell, R.P.L.S.  
 Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

TRACT 2  
 ANTHONY R. HERNANDEZ  
 AND LAURA R. HERNANDEZ  
 (INST. NO. 20180731000949840)  
 O.P.R.C.C.T.

APPROXIMATE LOCATION  
 FEMA FLOOD LINE  
 PER FEMA MAP NO. 48085C0415J  
 DATED JUNE 2, 2009

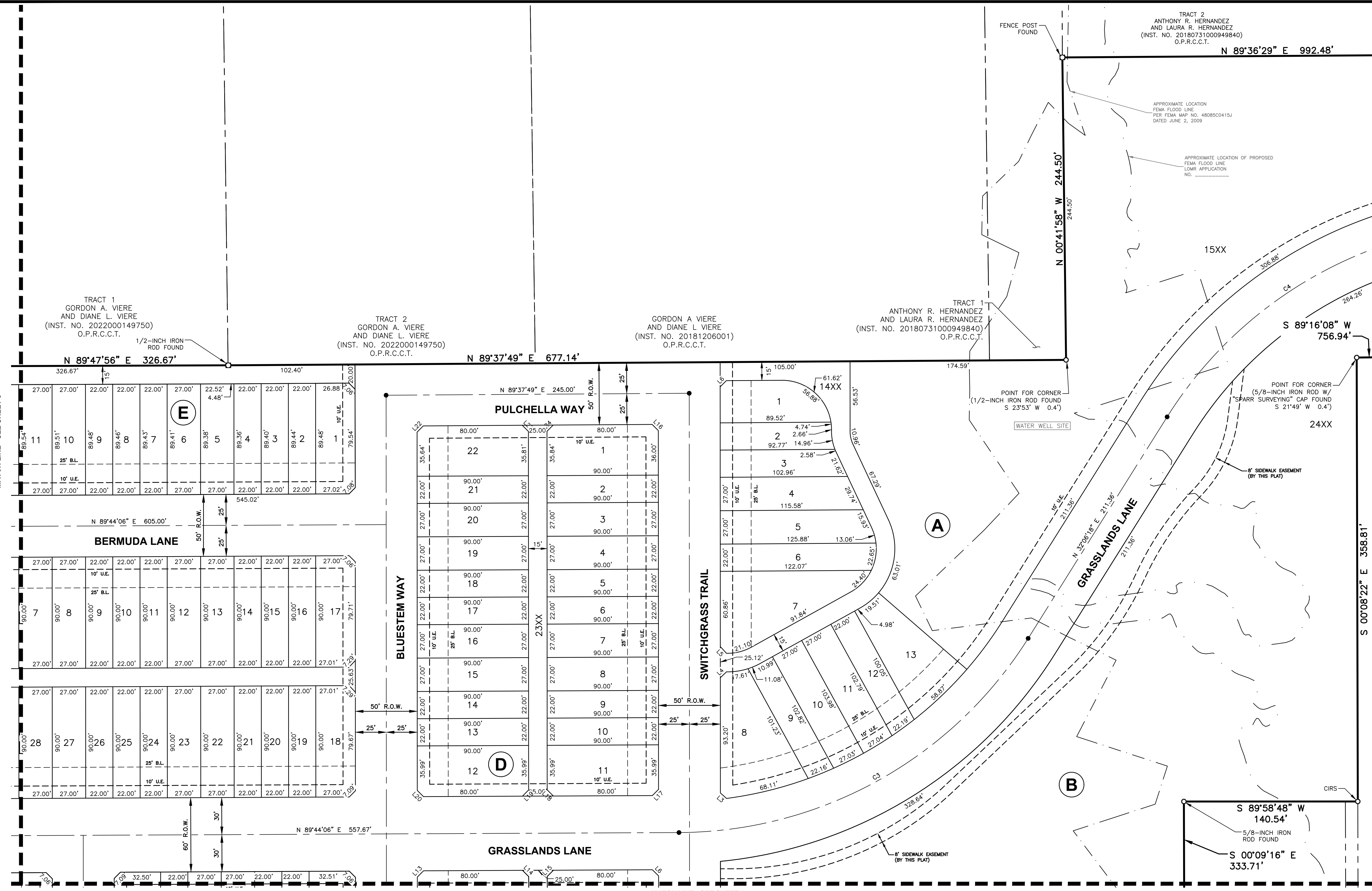
APPROXIMATE LOCATION OF PROPOSED  
 FEMA FLOOD LINE  
 LOWS APPLICATION  
 NO.

TRACT 1  
 ANTHONY R. HERNANDEZ  
 AND LAURA R. HERNANDEZ  
 (INST. NO. 20180731000949840)  
 O.P.R.C.C.T.

GORDON A. VIERE  
 AND DIANE L. VIERE  
 (INST. NO. 20181206001)  
 O.P.R.C.C.T.

TRACT 2  
 GORDON A. VIERE  
 AND DIANE L. VIERE  
 (INST. NO. 2022000149750)  
 O.P.R.C.C.T.

TRACT 1  
 GORDON A. VIERE  
 AND DIANE L. VIERE  
 (INST. NO. 2022000149750)  
 O.P.R.C.C.T.



MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 1

MATCH LINE - SEE SHEET 9

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**GRAYSON-COLLIN**  
**ELECTRIC COOPERATIVE**  
 PO Box 548  
 Van Alstyne, TX 75495  
 Phone: 903-482-7183

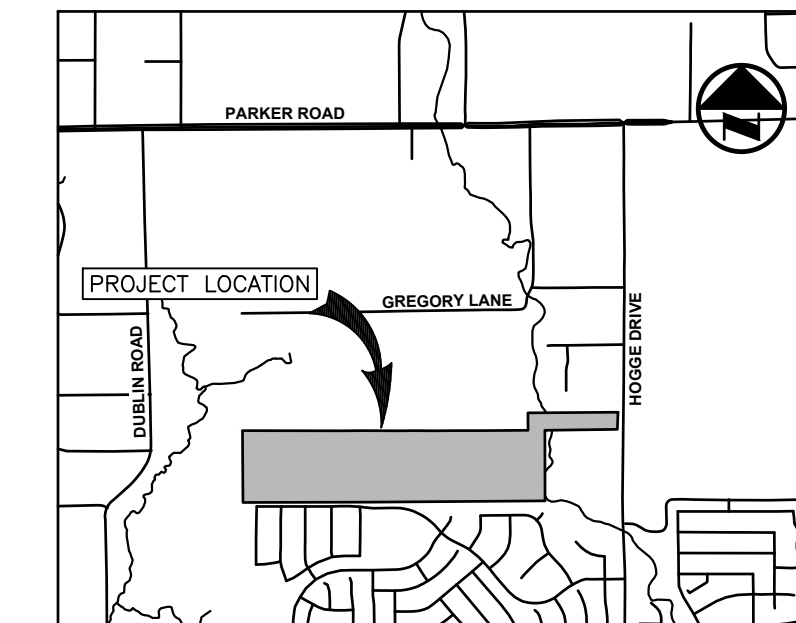
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**COSERV**  
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 Corinth, TX 76210  
 Phone: 940-321-7800

**WATER**  
**COLLIN COUNTY MUD NO. 7**  
 4514 Cole Avenue, Suite 1450,  
 Dallas, TX 75205  
 Phone: 972-357-8810

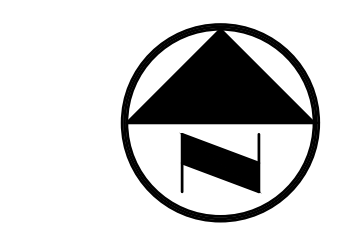
**SANITARY SEWER**  
**COLLIN COUNTY MUD NO. 7**  
 4514 Cole Avenue, Suite 1450,  
 Dallas, TX 75205  
 Phone: 972-357-8810

**OWNER**  
**RESTORE THE GRASSLANDS LLC**  
 8222 Douglas Avenue, Suite 300  
 Dallas, TX 75225  
 Phone: 214-460-3621

**APPLICANT**  
**BGE, Inc.**  
 Contact: Garrett Scoggins, P.E.  
 Telephone: 972-464-4858  
 Email: gscoggins@bgeinc.com



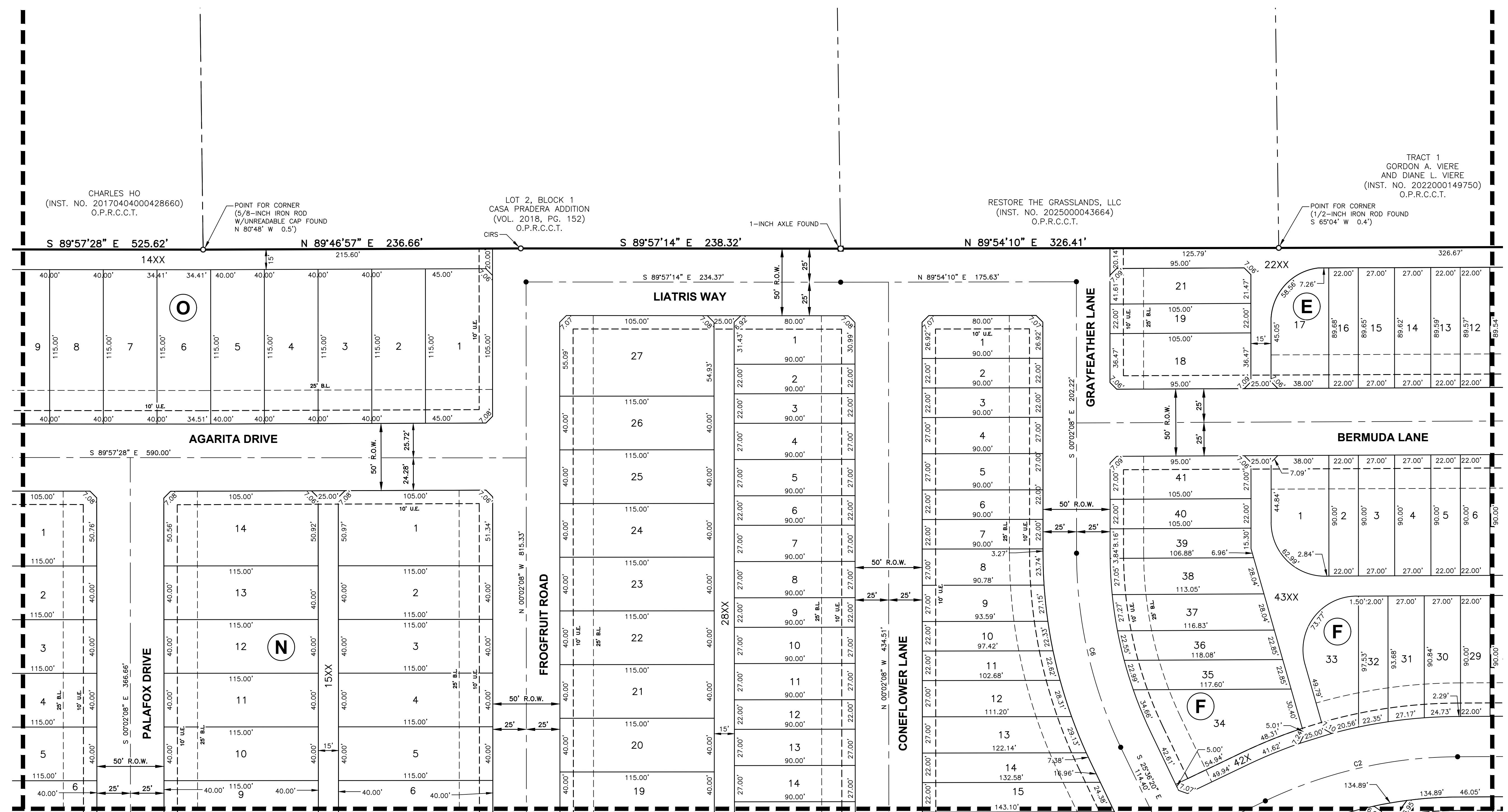
VICINITY MAP  
(NOT TO SCALE)



0 20 40 80  
SCALE: 1" = 40'

**LEGEND**

- MONUMENT OF RECORD DIGNITY
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BEING 101.802 ACRES SITUATED IN THE  
 PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10  
 COLLIN COUNTY, TEXAS  
 MAY 2026  
 SHEET 3 OF 12

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**ELECTRIC COOPERATIVE**  
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 Dallas, TX 75225  
 Phone: 214-460-3621

**GAS**  
**COSERV**  
 PO Box 734803  
 Corinth, TX 76210  
 Phone: 940-321-7800

**SANITARY SEWER**  
**COLLIN COUNTY MUD NO. 7**  
 4514 Cole Avenue, Suite 1450,  
 Dallas, TX 75205  
 Phone: 972-357-8810

**APPLICANT**  
**BGE, Inc.**  
 Contact: Garrett Scoggins, P.E.  
 Telephone: 972-464-4858  
 Email: gscoggins@bgeinc.com

**SURVEYOR**  
**BGE, Inc.**  
 2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
 Tel: 972-464-4800 • www.bgeinc.com  
 TPPELS Firm No. 10106500

Contact: Russ Tidwell, R.P.L.S.  
 Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

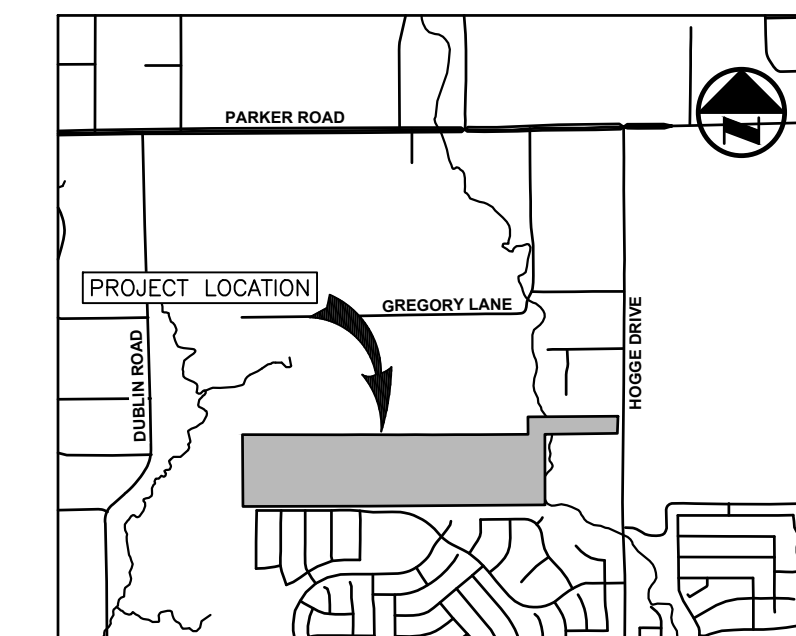
- GENERAL NOTES:**
- Bearing system for this survey is based on the North American Datum of 1983, NAD2011 (Epoch 2010.00), Texas State Plane Coordinate System, North Central Zone (4202) with an applied combined scale factor of 1.000152710. Distances and areas shown are surface values in U.S. Survey Feet.
  - The subject tract lies with Zone X, Zone A, and Zone AE as delineated on Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, Map Number 48085C0415J with a Map Revised date of June 2, 2009.
    - Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
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  - Proposed Collin County 100-year flood plain per flood study titled Preliminary Flood Study for Maxwell Creek at Turner Tract, dated February 2026, prepared by LJA Engineering.
  - Selling a portion of this addition by metes and bounds is a violation of State

- law, and is subject to fines and/or withholding of utilities and building permits.
- Total acreage of the subdivision is 101.802 acres, the total number of lots within the proposed subdivision are 648, the smallest lot shown on the plat is 0.034 acres and the largest is 9.829 acres.
- Mail boxes shall meet USPS specifications.
- Driveway connections must meet Collin County specifications.
- All roadway signs shall meet Collin County specifications.
- Collin County will only maintain street signs and poles with materials currently approved and in use by Collin County Public Works.
- Collin County does not, and will not accept street lights for maintenance or operation.
- A road dedicated to the public may not be obstructed, including by means of a gate.
- Blocking the flow of water, constructing improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
- The existing creeks or drainage channels traversing along or across the subdivision will remain as open channels and will be maintained by individual owners of the lot or lots that are traversed by or adjacent to the drainage course along or across said lots.
- Collin County will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion in said drainage ways.

- Collin County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flooding conditions.
- All surface drainage easements shall be kept clear of buildings, foundations, structures, plantings, and other obstructions to the operation, access and maintenance of the drainage facility.
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VICINITY MAP  
(NOT TO SCALE)



0 20 40 80  
SCALE: 1" = 40'

LEGEND

- MONUMENT OF RECORD DIGNITY
- PROPERTY CORNER
- P.O.C. POINT OF COMMENCING
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- - - PROPERTY LINE
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- - - FEMA FLOOD LINE
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- D.R.C.C.T. DEED RECORDS OF COLLIN COUNTY, TEXAS

FINAL PLAT  
RESTORE THE GRASSLANDS

624 RESIDENTIAL LOTS

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BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
MAY 2026  
SHEET 4 OF 12

**OWNER**  
RESTORE THE GRASSLANDS LLC  
8222 Douglas Avenue, Suite 300  
Dallas, TX 75225  
Phone: 214-460-3621

**APPLICANT**  
BGE, Inc.  
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Tel: 972-464-4800 • www.bgeinc.com  
TBPELS Firm No. 10106500

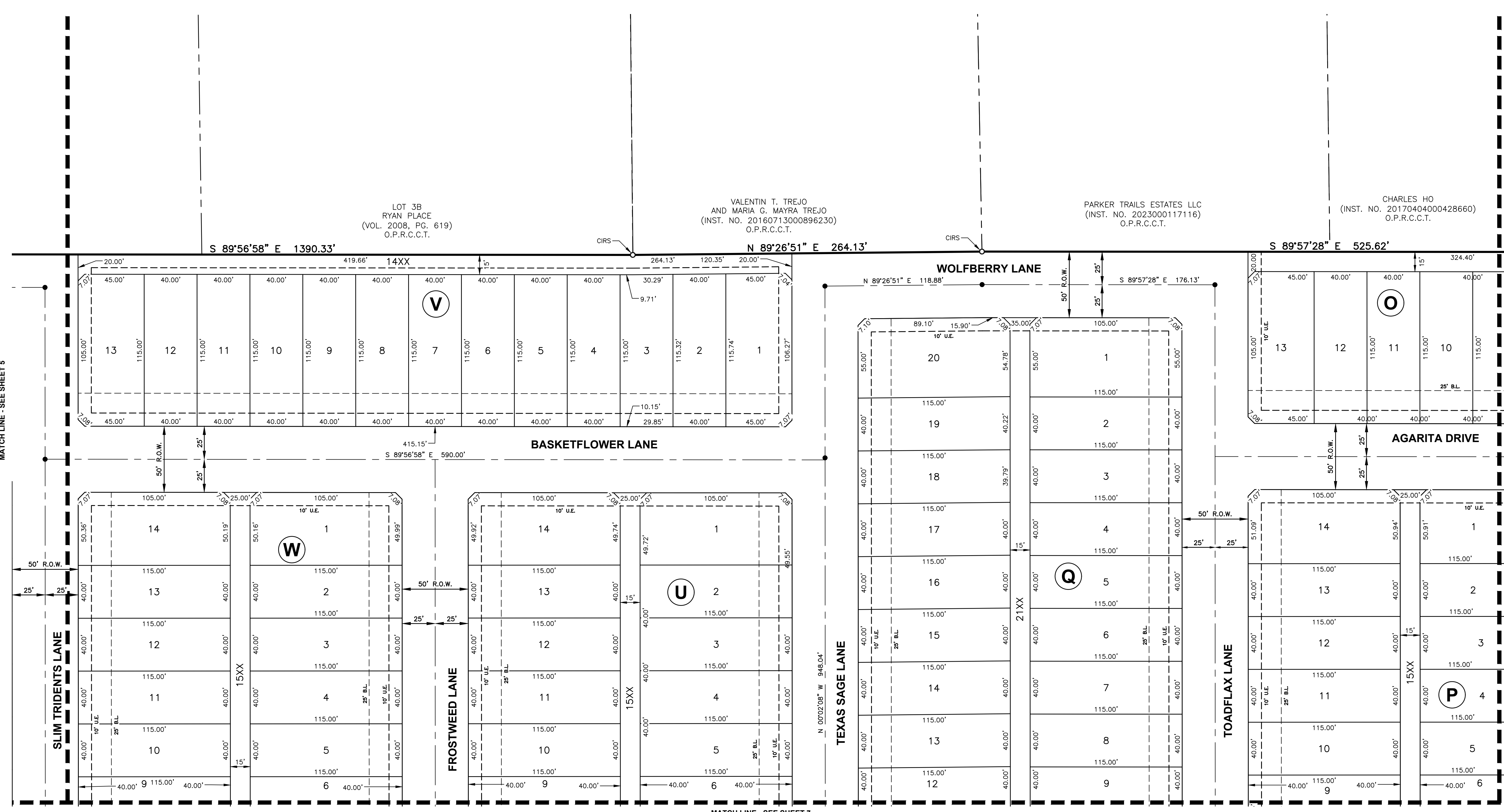
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Copyright 2026

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GRAYSON-COLLIN ELECTRIC COOPERATIVE  
PO Box 548  
Van Alstyne, TX 75495  
Phone: 903-482-7183

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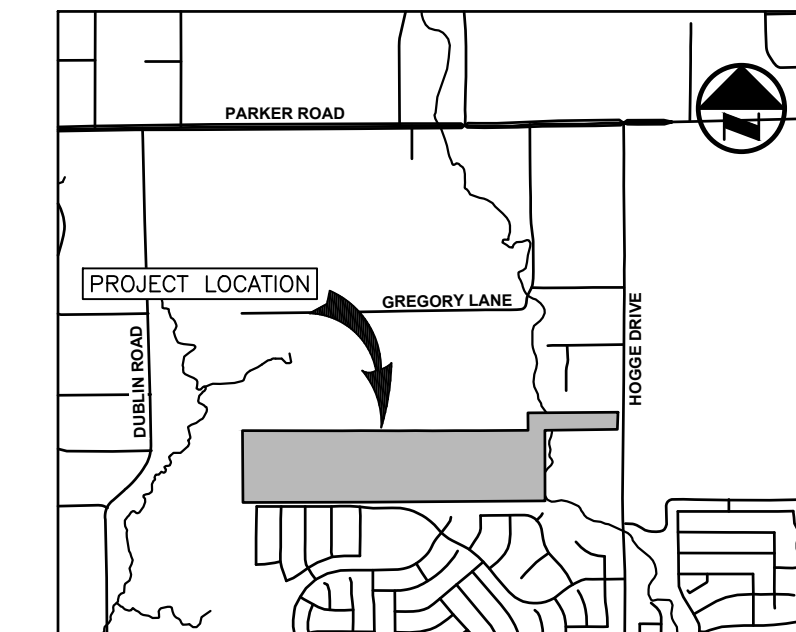
**WATER**  
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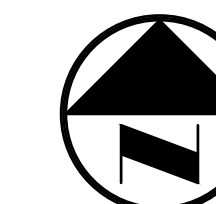


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VICINITY MAP  
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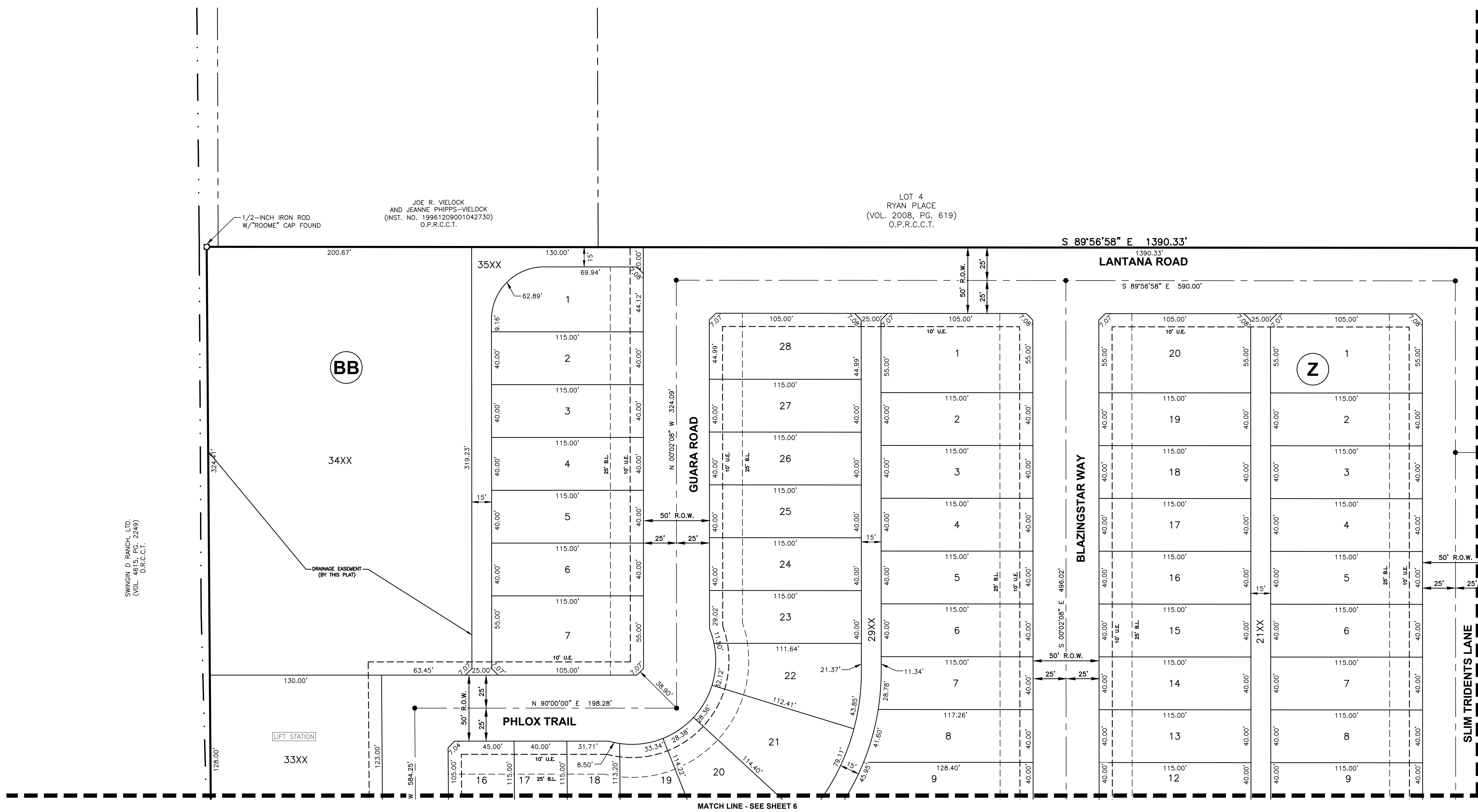


0 20 40 80  
SCALE: 1" = 40'

LEGEND

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- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
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MATCH LINE - SEE SHEET 3



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RESTORE THE GRASSLANDS

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BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
MAY 2026  
SHEET 5 OF 12

**ELECTRIC**  
GRAYSON-COLLIN  
ELECTRIC COOPERATIVE  
PO Box 548  
Van Alstyne, TX 75495  
Phone: 903-482-7183

**WATER**  
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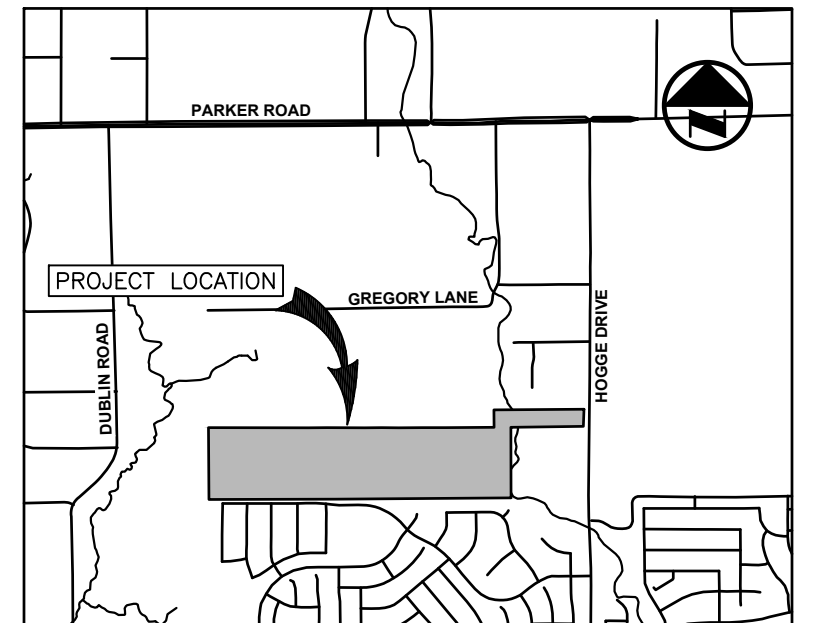
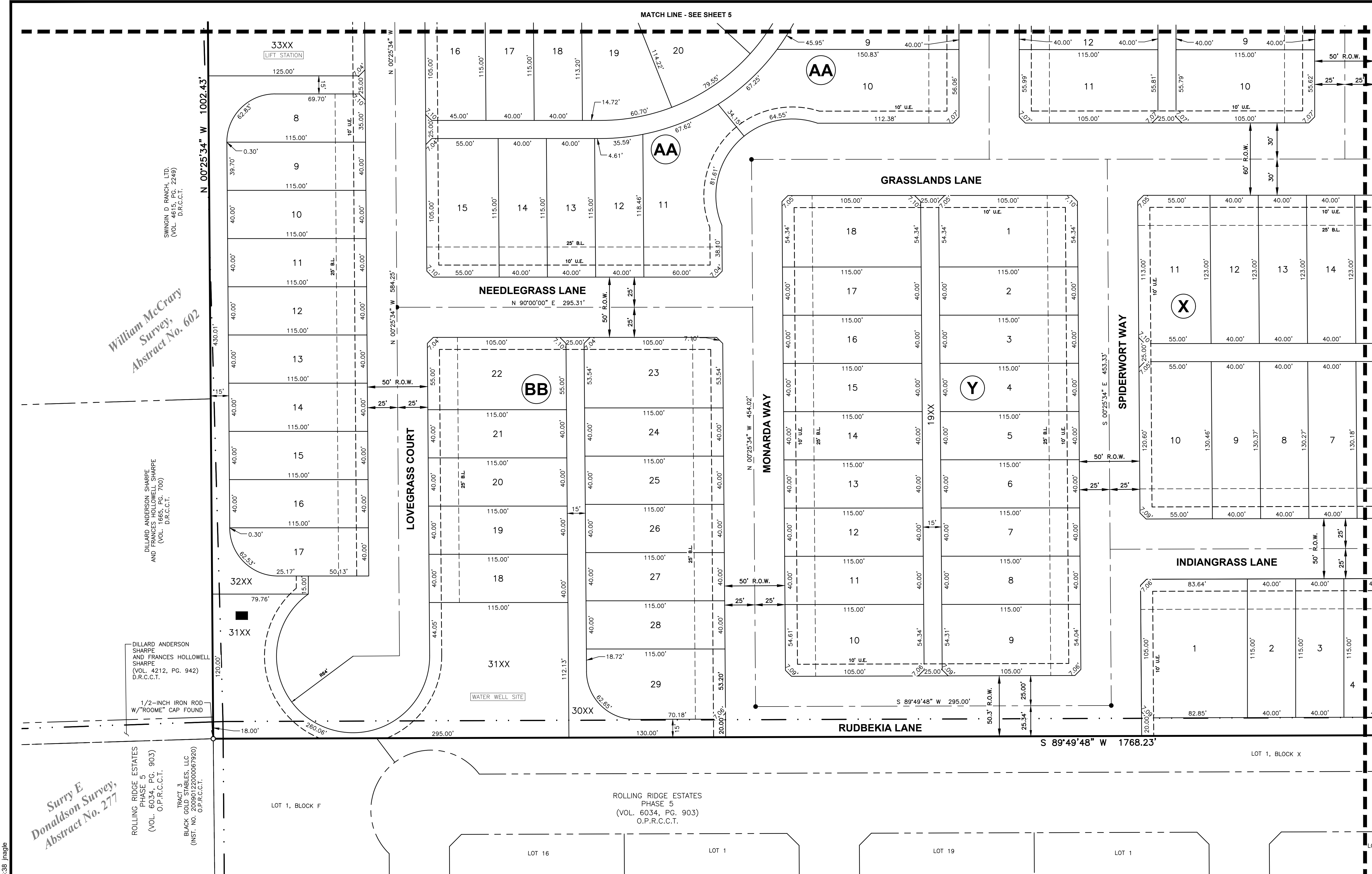
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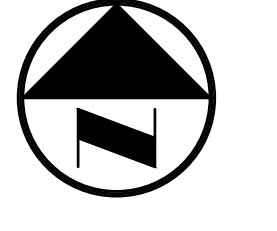
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- Lots labeled with a singular X and labeled "X" shall be owned and maintained by the HOA / community association. Lots with double Xs, labeled "XX" shall be owned and maintained by Collin County mud no. 7.
- Fence and maintenance for side yards adjacent to rights-of-way and key lots will be maintained by the homeowner(s) of the lot that the fence is located.
- The streets and rights of ways are dedicated to the public for street purposes. Collin County Municipal Utility District No. 7 (the "District") will maintain the streets, sanitary sewer, sidewalks, barrier free ramps, signage, and striping within the rights-of-way.

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VICINITY MAP  
(NOT TO SCALE)



0 20 40 80  
SCALE: 1" = 40'

LEGEND

- MONUMENT OF RECORD DIGNITY
- PROPERTY CORNER
- P.O.C. POINT OF COMMENCING
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- - - PROPERTY LINE
- · - ABSTRACT LINE
- · - - EXISTING EASEMENT LINE
- · - - PROPOSED EASEMENT LINE
- · - - FEMA FLOOD LINE
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
- D.R.C.C.T. DEED RECORDS OF COLLIN COUNTY, TEXAS

FINAL PLAT  
**RESTORE THE GRASSLANDS**

624 RESIDENTIAL LOTS

LOTS 1-13, BLOCK A; LOTS 1-22, BLOCK B; LOTS 1-31, BLOCK C; LOTS 1-22, BLOCK D; LOTS 1-21, BLOCK E; LOTS 1-41, BLOCK F; LOTS 1-52, BLOCK G; LOTS 1-30, BLOCK H; LOTS 1-22, BLOCK I; LOTS 1-16, BLOCK J; LOTS 1-27, BLOCK K; LOTS 1-55, BLOCK L; LOTS 1-27, BLOCK M; LOTS 1-14, BLOCK N; LOTS 1-13, BLOCK O; LOTS 1-14, BLOCK P; LOTS 1-20, BLOCK Q; LOTS 1-18, BLOCK R; LOTS 1-16, BLOCK S; LOTS 1-10, BLOCK T; LOTS 1-14, BLOCK U; LOTS 1-13, BLOCK V; LOTS 1-14, BLOCK W; LOTS 1-20, BLOCK X; LOTS 1-18, BLOCK Y; LOTS 1-20, BLOCK Z; LOTS 1-28, BLOCK AA; LOTS 1-28, BLOCK BB;

35 OPEN SPACE/HOA LOTS

LOTS 14XX-15XX, BLOCK A; LOTS 23XX-24XX, BLOCK B; LOT 32XX, BLOCK C; LOT 23XX, BLOCK D; LOT 22XX, BLOCK E; LOT 42X-43XX, BLOCK F; LOT 41XX, BLOCK G; LOT 31XX, BLOCK H; LOT 23XX, BLOCK I; LOT 28XX, BLOCK K; LOT 56XX, BLOCK L; LOT 26XX, BLOCK M; LOT 15XX, BLOCK N; LOT 14XX, BLOCK O; LOT 15XX, BLOCK P; LOT 21XX, BLOCK Q; LOT 19XX, BLOCK R; LOT 17XX, BLOCK S; LOT 11XX, BLOCK T; LOT 15XX, BLOCK U; LOT 14XX, BLOCK V; LOT 15XX, BLOCK W; LOT 21XX, BLOCK X; LOT 19XX, BLOCK Y; LOT 21XX, BLOCK Z; LOT 29XX, BLOCK AA; LOTS 30XX-35XX, BLOCK BB;

BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
MAY 2026  
SHEET 6 OF 12

**ELECTRIC**  
GRAYSON-COLLIN  
ELECTRIC COOPERATIVE  
PO Box 548  
Van Alstyne, TX 75495  
Phone: 903-482-7183

**WATER**  
COLLIN COUNTY MUD NO. 7  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**OWNER**  
RESTORE THE  
GRASSLANDS LLC  
8222 Douglas Avenue, Suite 300  
Dallas, TX 75225  
Phone: 214-460-3621

**GAS**  
COSERV  
PO Box 734803  
Corinth, TX 76210  
Phone: 800-321-7800

**SANITARY SEWER**  
COLLIN COUNTY MUD NO. 7  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**APPLICANT**  
BGE, Inc.  
Contact: Garrett Scoggins, P.E.  
Telephone: 972-464-4858  
Email: gscoggins@bgeinc.com

**SURVEYOR**  
BGE, Inc.  
2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBPELS Firm No. 10106500  
Contact: Russ Tidwell, R.P.L.S.  
Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

- GENERAL NOTES:**
- Bearing system for this survey is based on the North American Datum of 1983, NA2011 (Epoch 2010.00), Texas State Plane Coordinate System, North Central Zone (4202) with an applied combined scale factor of 1.000152710. Distances and areas shown are surface values in U.S. Survey Feet.
  - The subject tract lies with Zone X, Zone A, and Zone AE as delineated on Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, Map Number 48085C0415J with a Map Revised date of June 2, 2009.
    - Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
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    - Zone AE - (Special flood hazard areas subject to inundation by the 1% annual chance flood event) - Base flood elevations determined.
  - Proposed Collin County 100-year flood plain per flood study titled Preliminary Flood Study for Maxwell Creek at Turner Tract, dated February 2020, prepared by LJA Engineering.
  - Selling a portion of this addition by metes and bounds is a violation of State

- law, and is subject to fines and/or withholding of utilities and building permits.
- Total acreage of the subdivision is 101.802 acres, the total number of lots within the proposed subdivision are 648, the smallest lot shown on the plat is 0.034 acres and the largest is 9.829 acres.
- Mail boxes shall meet USPS specifications.
- Driveway connections must meet Collin County specifications.
- All roadway signs shall meet Collin County specifications.
- Collin County will only maintain street signs and poles with materials currently approved and in use by Collin County Public Works.
- Collin County does not, and will not accept street lights for maintenance or operation.
- A road dedicated to the public may not be obstructed, including by means of a gate.
- Blocking the flow of water, constructing improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
- The existing creeks or drainage channels traversing along or across the subdivision will remain as open channels and will be maintained by individual owners of the lot or lots that are traversed by or adjacent to the drainage course along or across said lots.
- Collin County will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion in said drainage ways.

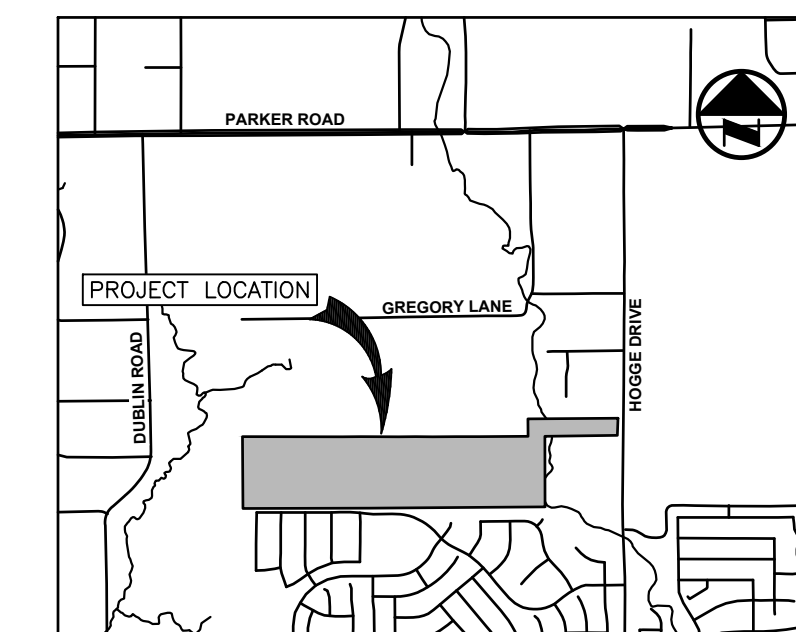
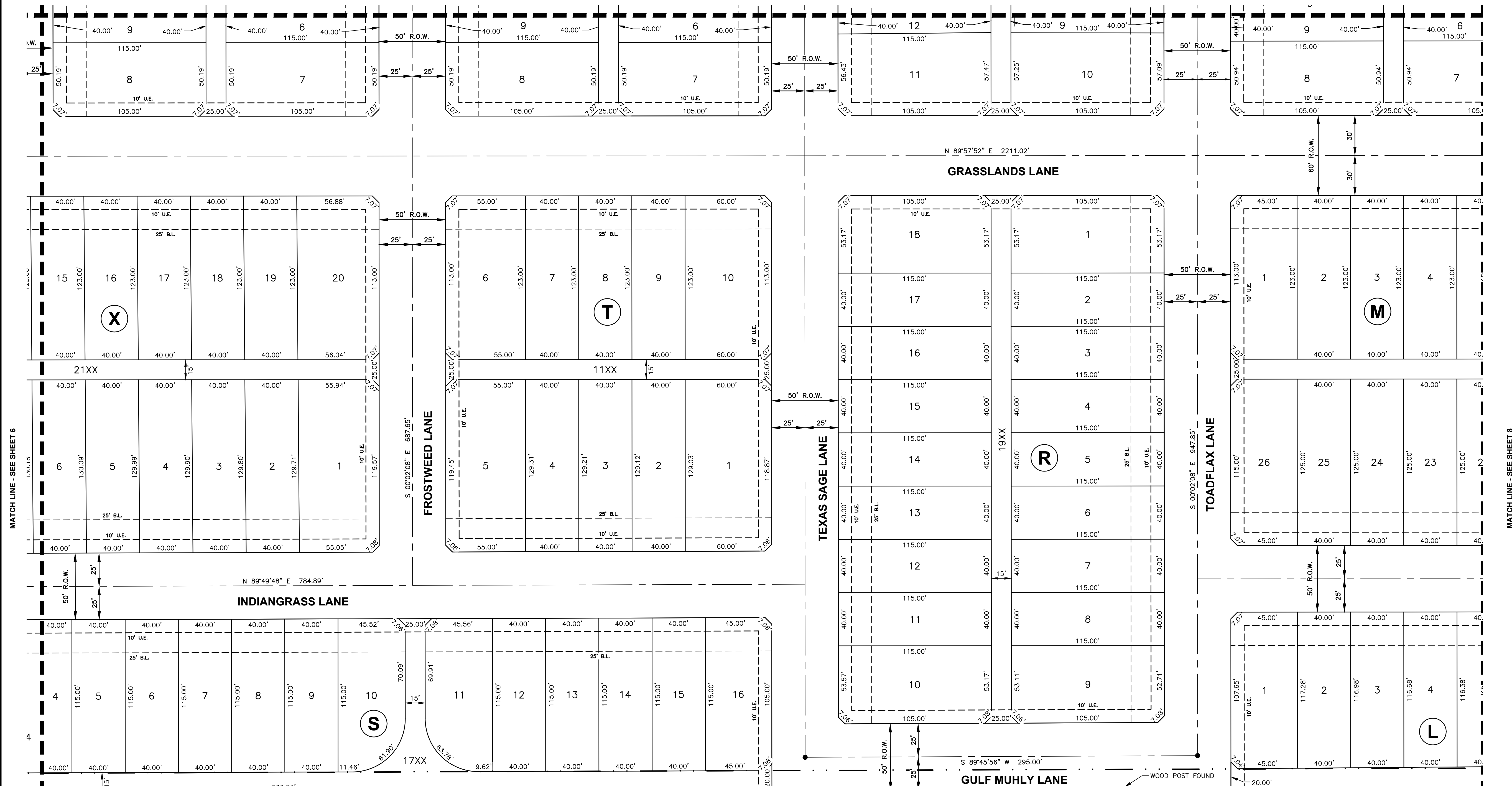
- Collin County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flooding conditions.
- All surface drainage easements shall be kept clear of buildings, foundations, structures, plantings, and other obstructions to the operation, access and maintenance of the drainage facility.
- Fences and utility appurtenances may be placed within the 100-year drainage easement provided they are placed outside the design-year floodplains, as shown on the plat.
- All necessary Collin County authorizations (i.e. OSSF, flood plain permits, etc.) are required for building construction, on-site sewage facilities, and driveway culverts.
- All private driveway tie-ins to a County maintained roadway, or roadway with expectations of being accepted into the County roadway network, must be even with the existing driving surface.
- The finish floor elevations of all house pads shall be at least 18" above the highest elevation of the surrounding ground around the house after final grading and two feet (2') above the 100-year base flood elevation.
- Except for ditches that are adjacent to Roadways and/or culverts and other improvements that are a part of a Roadway, the County generally will not accept drainage improvements for maintenance, including retention and detention ponds. Therefore, the Applicant must provide for this work to be done either by way of Restore the Grasslands HOA or Collin County MUD No. 7; by providing in the Deed Restrictions that each lot owner is responsible

- for maintaining the portions of the drainage improvements on or adjacent to their lot; or other method.
- Individual lots in a Subdivision are considered part of a larger common plan of development, regardless of when construction activity takes place on that lot in relation to the other lots, and are required to have BMP's and comply with the Construction General Permit.
- The Developer, Contractor, or Builder of any structure on a single lot in a developing subdivision shall prepare an SW3P and submit to the Director of Engineering prior to receiving any permits.
- Detention pond and facilities will be maintained by Collin County MUD No. 7.
- Collin County will not be responsible for maintenance or repairs of Centralized Mailboxes.
- The maintenance of paving, grading and drainage improvements and/or easements shown on this plat are the responsibility of Collin County MUD No. 7.
- All water and sanitary sewer utility easements shown hereon are hereby dedicated by this plat for the exclusive use of the City of Celina.
- All drainage easements and right-of-way shown hereon are hereby dedicated by this plat for the exclusive use of Collin County MUD No. 7.
- Lots ending with an "X" are non-residential lots. Maintenance of "X" lots shall be responsibility of the Restore the Grasslands HOA or Collin County MUD No. 7.

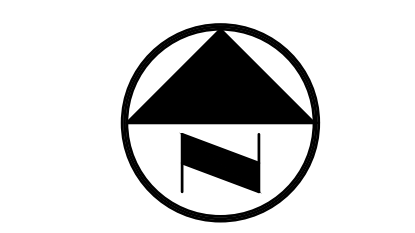
- No vertical objects with a height of more than two (2) feet shall be placed inside the Sight Visibility Easements including fences, trees, shrubs, parked vehicles, mailboxes, above ground utility appurtenances, signs other than those necessary for traffic control and identification of roadway names, etc.
- Cluster mailboxes shall be maintained by the HOA.
- All homes/buildings must be equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3 of the 2024 International Fire Code (IFC).
- All residential structures shall be fitted with multi-purpose sprinkler system.
- For each lot that has a retaining wall built within this platted area, a 5' wall maintenance easement shall exist on the adjoining lot. See typical wall maintenance easement detail.
- The owner of the lot on which a retaining wall is located owns the retaining wall and shall be responsible for maintaining or replacing the retaining wall on its lot.
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MATCH LINE - SEE SHEET 4



VICINITY MAP (NOT TO SCALE)



**LEGEND**

□	MONUMENT OF RECORD DIGNITY
○	PROPERTY CORNER
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
---	BOUNDARY LINE
---	PROPERTY LINE
---	ABSTRACT LINE
---	EXISTING EASEMENT LINE
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---	FEMA FLOOD LINE
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
D.R.C.C.T.	DEED RECORDS OF COLLIN COUNTY, TEXAS

**FINAL PLAT**  
**RESTORE THE GRASSLANDS**

624 RESIDENTIAL LOTS  
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- Collin County will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion in said drainage ways.

- Collin County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flooding conditions.
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**ELECTRIC**  
**GRAYSON-COLLIN**  
**ELECTRIC COOPERATIVE**  
 PO Box 548  
 Van Alstyne, TX 75495  
 Phone: 903-482-7183

**GAS**  
**COSERV**  
 PO Box 734803  
 Corinth, TX 76210  
 Phone: 940-321-7800

**WATER**  
**COLLIN COUNTY MUD NO. 7**  
 4514 Cole Avenue, Suite 1450,  
 Dallas, TX 75205  
 Phone: 972-357-8810

**SANITARY SEWER**  
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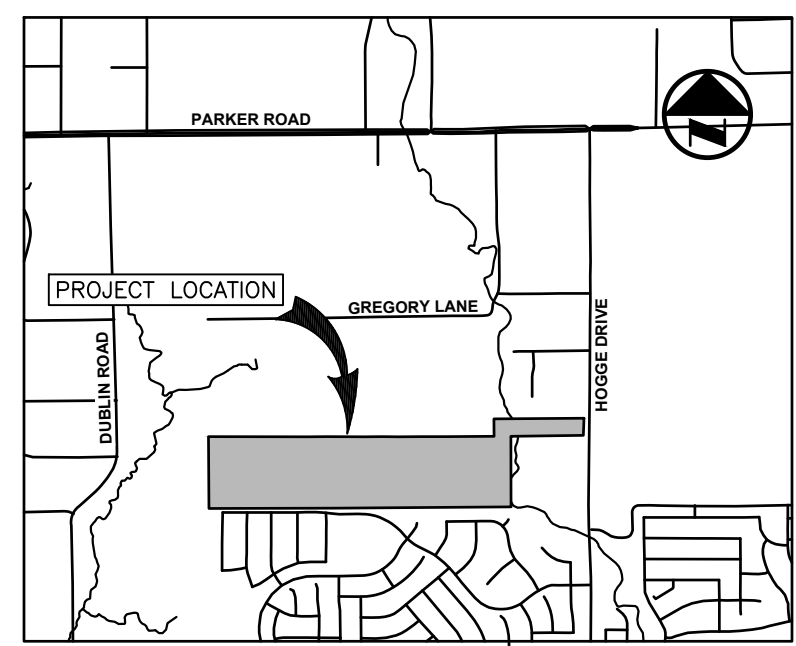
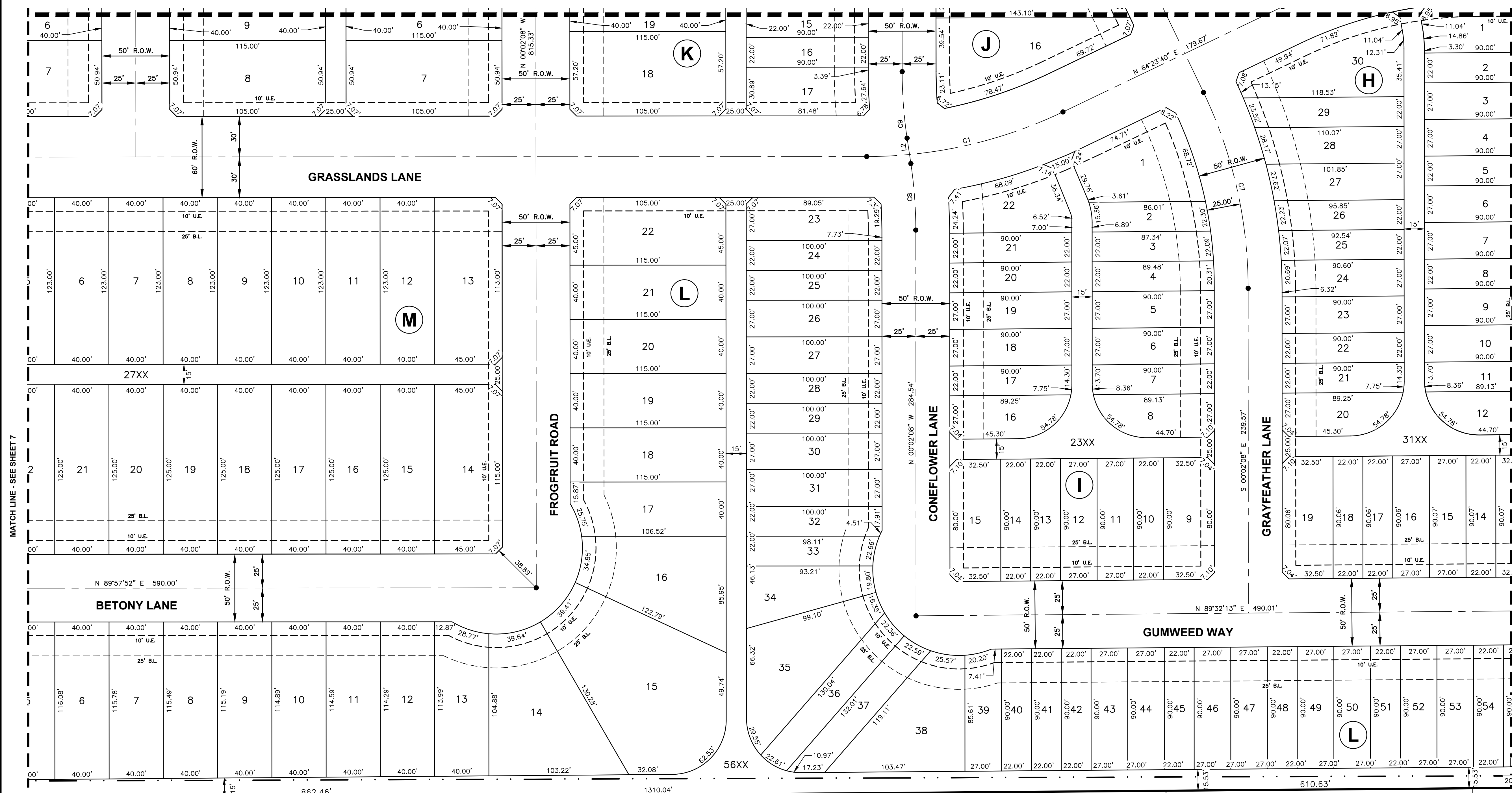
**OWNER**  
**RESTORE THE GRASSLANDS LLC**  
 8222 Douglas Avenue, Suite 300  
 Dallas, TX 75225  
 Phone: 214-460-3621

**APPLICANT**  
**BGE, Inc.**  
 Contact: Garrett Scoggins, P.E.  
 Telephone: 972-464-4858  
 Email: gscoggins@bgeinc.com

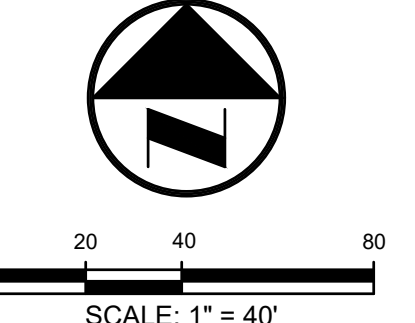
BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
 MAY 2026  
 SHEET 7 OF 12

**SURVEYOR**  
**BGE, Inc.**  
 2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
 Tel: 972-464-4800 • www.bgeinc.com  
 TBPELS Firm No. 10106500  
 Contact: Russ Tidwell, R.P.L.S.  
 Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

MATCH LINE - SEE SHEET 3



VICINITY MAP (NOT TO SCALE)



**LEGEND**

- MONUMENT OF RECORD DIGNITY
- PROPERTY CORNER
- P.O.C. POINT OF COMMENCING
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- PROPERTY LINE
- ABSTRACT LINE
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- D.R.C.C.T. DEED RECORDS OF COLLIN COUNTY, TEXAS

**FINAL PLAT RESTORE THE GRASSLANDS**

**624 RESIDENTIAL LOTS**

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**35 OPEN SPACE/HOA LOTS**

LOTS 14XX-15XX, BLOCK A; LOTS 23XX-24XX, BLOCK B; LOT 32XX, BLOCK C; LOT 23XX, BLOCK D; LOT 22XX, BLOCK E; LOT 42X-43XX, BLOCK F; LOT 41XX, BLOCK G; LOT 31XX, BLOCK H; LOT 23XX, BLOCK I; LOT 28XX, BLOCK K; LOT 56XX, BLOCK L; LOT 26XX, BLOCK M; LOT 15XX, BLOCK N; LOT 14XX, BLOCK O; LOT 15XX, BLOCK P; LOT 21XX, BLOCK Q; LOT 19XX, BLOCK R; LOT 17XX, BLOCK S; LOT 11XX, BLOCK T; LOT 15XX, BLOCK U; LOT 14XX, BLOCK V; LOT 15XX, BLOCK W; LOT 21XX, BLOCK X; LOT 19XX, BLOCK Y; LOT 21XX, BLOCK Z; LOT 29XX, BLOCK AA; LOTS 30XX-35XX, BLOCK BB;

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- Fences and utility appurtenances may be placed within the 100-year drainage easement provided they are placed outside the design-year floodplains, as shown on the plat.
- All necessary Collin County authorizations (i.e. OSSF, flood plain permits, etc.) are required for building construction, on-site sewage facilities, and driveway culverts.
- All private driveway tie-ins to a County maintained roadway, or roadway with expectations of being accepted into the County roadway network, must be even with the existing driving surface.
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- for maintaining the portions of the drainage improvements on or adjacent to their lot; or other method.
- Individual lots in a Subdivision are considered part of a larger common plan of development, regardless of when construction activity takes place on that lot in relation to the other lots, and are required to have BMP's and comply with the Construction General Permit.
- The Developer, Contractor, or Builder of any structure on a single lot in a developing subdivision shall prepare an SW3P and submit to the Director of Engineering prior to receiving any permits.
- Detention pond and facilities will be maintained by Collin County MUD No. 7.
- Collin County will not be responsible for maintenance or repairs of Centralized Mailboxes.
- The maintenance of paving, grading and drainage improvements and/or easements shown on this plat are the responsibility of Collin County MUD No. 7.
- All water and sanitary sewer utility easements shown hereon are hereby dedicated by this plat for the exclusive use of the City of Celina.
- All drainage easements and right-of-way shown hereon are hereby dedicated by this plat for the exclusive use of Collin County MUD No. 7.
- Lots ending with an "X" are non-residential lots. Maintenance of "X" lots shall be responsibility of the Restore the Grasslands HOA or Collin County MUD No. 7.

- No vertical objects with a height of more than two (2) feet shall be placed inside the Sight Visibility Easements including fences, trees, shrubs, parked vehicles, mailboxes, above ground utility appurtenances, signs other than those necessary for traffic control and identification of roadway names, etc.
- Cluster mailboxes shall be maintained by the HOA.
- All homes/buildings must be equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3 of the 2024 International Fire Code (IFC).
- All residential structures shall be fitted with multi-purpose sprinkler system.
- For each lot that has a retaining wall built within this platted area, a 5' wall maintenance easement shall exist on the adjoining lot. See typical wall maintenance easement detail.
- The owner of the lot on which a retaining wall is located owns the retaining wall and shall be responsible for maintaining or replacing the retaining wall on its lot.
- Lots labeled with a singular X and labeled "X" shall be owned and maintained by the HOA / community association. Lots with double Xs, labeled "XX" shall be owned and maintained by Collin County mud no. 7.
- Fence and maintenance for side yards adjacent to rights-of-way and key lots will be maintained by the homeowner(s) of the lot that the fence is located.
- The streets and rights of ways are dedicated to the public for street purposes. Collin County Municipal Utility District No. 7 (the "District") will maintain the streets, sanitary sewer, sidewalks, barrier free ramps, signage, and striping within the rights-of-way.

**ELECTRIC**  
**GRAYSON-COLLIN**  
**ELECTRIC COOPERATIVE**  
 PO Box 548  
 Van Alstyne, TX 75495  
 Phone: 903-482-7183

**GAS**  
**COSERV**  
 PO Box 734803  
 Corinth, TX 76210  
 Phone: 800-321-7800

**WATER**  
**COLLIN COUNTY MUD NO. 7**  
 4514 Cole Avenue, Suite 1450,  
 Dallas, TX 75205  
 Phone: 972-357-8810

**SANITARY SEWER**  
**COLLIN COUNTY MUD NO. 7**  
 4514 Cole Avenue, Suite 1450,  
 Dallas, TX 75205  
 Phone: 972-357-8810

**OWNER**  
**RESTORE THE GRASSLANDS LLC**  
 8222 Douglas Avenue, Suite 300  
 Dallas, TX 75225  
 Phone: 214-460-3621

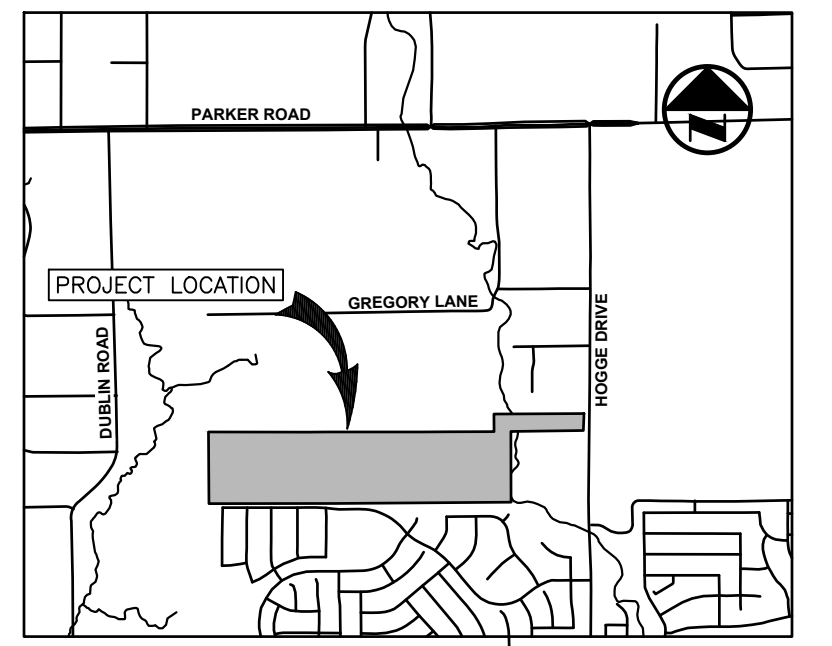
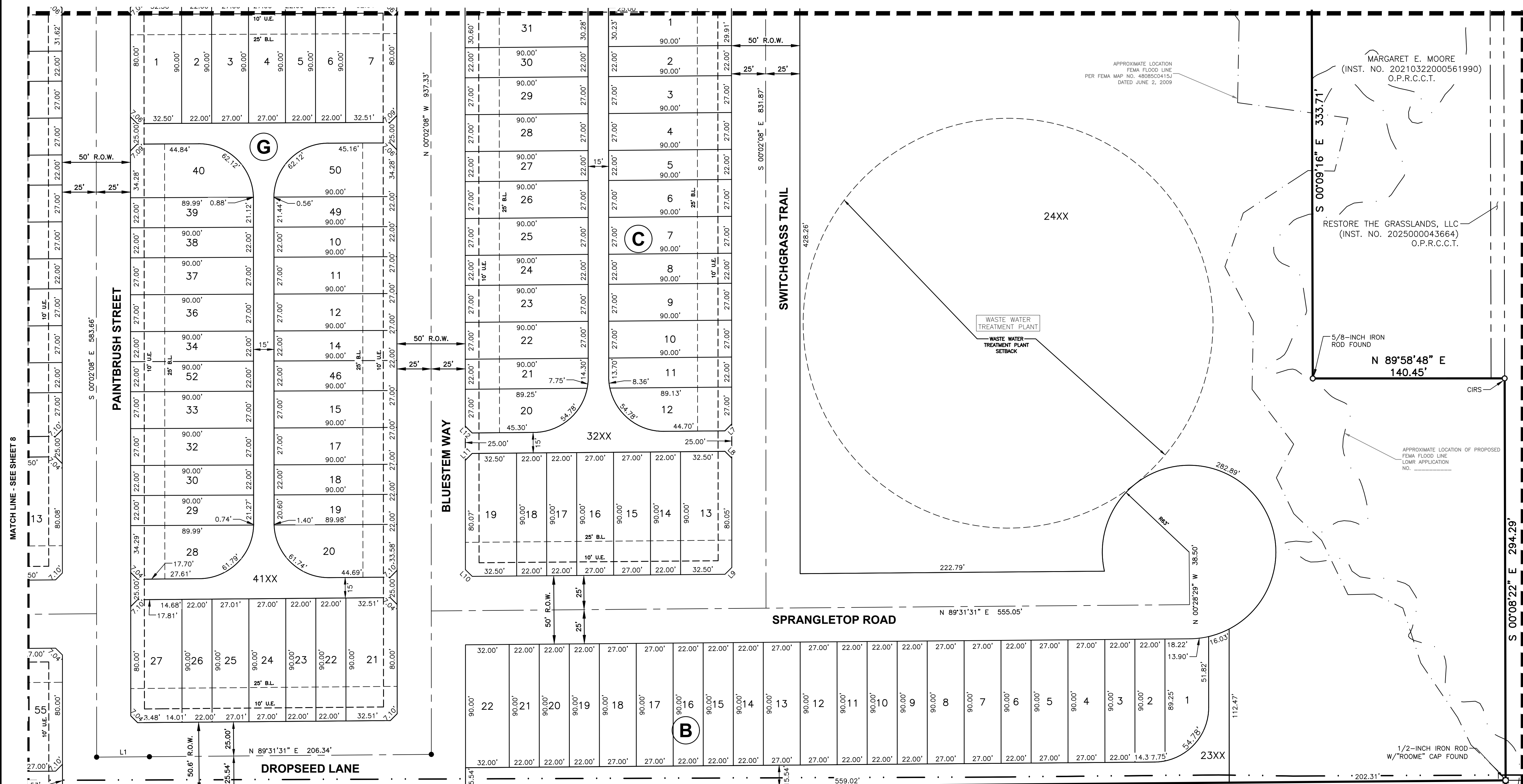
**APPLICANT**  
**BGE, Inc.**  
 Contact: Garrett Scoggins, P.E.  
 Telephone: 972-464-4858  
 Email: gscoggins@bgeinc.com

BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
 MAY 2026  
 SHEET 8 OF 12

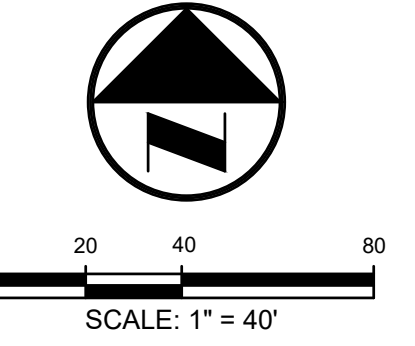
**SURVEYOR**  
**BGE, Inc.**  
 2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
 Tel: 972-464-4800 • www.bgeinc.com  
 TBPELS Firm No. 10106500  
 Copyright 2026  
 Contact: Russ Tidwell, R.P.L.S.  
 Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

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MATCH LINE - SEE SHEET 2



VICINITY MAP (NOT TO SCALE)



- LEGEND**
- MONUMENT OF RECORD DIGNITY
  - PROPERTY CORNER
  - P.O.C. POINT OF COMMENCING
  - P.O.B. POINT OF BEGINNING
  - BOUNDARY LINE
  - - - PROPERTY LINE
  - · - ABSTRACT LINE
  - · - - EXISTING EASEMENT LINE
  - · - - PROPOSED EASEMENT LINE
  - · - - FEMA FLOOD LINE
  - O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
  - D.R.C.C.T. DEED RECORDS OF COLLIN COUNTY, TEXAS

**FINAL PLAT RESTORE THE GRASSLANDS**

624 RESIDENTIAL LOTS

LOTS 1-13, BLOCK A; LOTS 1-22, BLOCK B; LOTS 1-31, BLOCK C; LOTS 1-22, BLOCK D; LOTS 1-21, BLOCK E; LOTS 1-41, BLOCK F; LOTS 1-52, BLOCK G; LOTS 1-30, BLOCK H; LOTS 1-22, BLOCK I; LOTS 1-16, BLOCK J; LOTS 1-27, BLOCK K; LOTS 1-55, BLOCK L; LOTS 1-27, BLOCK M; LOTS 1-14, BLOCK N; LOTS 1-13, BLOCK O; LOTS 1-14, BLOCK P; LOTS 1-20, BLOCK Q; LOTS 1-18, BLOCK R; LOTS 1-16, BLOCK S; LOTS 1-10, BLOCK T; LOTS 1-14, BLOCK U; LOTS 1-13, BLOCK V; LOTS 1-14, BLOCK W; LOTS 1-20, BLOCK X; LOTS 1-18, BLOCK Y; LOTS 1-20, BLOCK Z; LOTS 1-28, BLOCK AA; LOTS 1-28, BLOCK BB;

35 OPEN SPACE/HOA LOTS

LOTS 14XX-15XX, BLOCK A; LOTS 23XX-24XX, BLOCK B; LOT 32XX, BLOCK C; LOT 23XX, BLOCK D; LOT 22XX, BLOCK E; LOT 42X-43XX, BLOCK F; LOT 41XX, BLOCK G; LOT 31XX, BLOCK H; LOT 23XX, BLOCK I; LOT 28XX, BLOCK K; LOT 56XX, BLOCK L; LOT 26XX, BLOCK M; LOT 15XX, BLOCK N; LOT 14XX, BLOCK O; LOT 15XX, BLOCK P; LOT 21XX, BLOCK Q; LOT 19XX, BLOCK R; LOT 17XX, BLOCK S; LOT 11XX, BLOCK T; LOT 15XX, BLOCK U; LOT 14XX, BLOCK V; LOT 15XX, BLOCK W; LOT 21XX, BLOCK X; LOT 19XX, BLOCK Y; LOT 21XX, BLOCK Z; LOT 29XX, BLOCK AA; LOTS 30XX-35XX, BLOCK BB;

BEING 101.802 ACRES SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 COLLIN COUNTY, TEXAS  
MAY 2026  
SHEET 9 OF 12

**GENERAL NOTES:**

1. Bearing system for this survey is based on the North American Datum of 1983, NAD2011 (Epoch 2010.00), Texas State Plane Coordinate System, North Central Zone (4202) with an applied combined scale factor of 1.000152710. Distances and areas shown are surface values in U.S. Survey Feet.
2. The subject tract lies with Zone X, Zone A, and Zone AE as delineated on Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, Map Number 48085C0415J with a Map Revised date of June 2, 2009.
  - Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
  - Zone A - Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood. The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. This zone has no base flood elevations determined.
  - Zone AE - (Special flood hazard areas subject to inundation by the 1% annual chance flood event) - Base flood elevations determined.
3. Proposed Collin County 100-year flood plain per flood study titled Preliminary Flood Study for Maxwell Creek at Turner Tract, dated February 2020, prepared by LJA Engineering.
4. Selling a portion of this addition by metes and bounds is a violation of State law, and is subject to fines and/or withholding of utilities and building permits.
5. Total acreage of the subdivision is 101.802 acres, the total number of lots within the proposed subdivision are 648, the smallest lot shown on the plat is 0.034 acres and the largest is 9.829 acres.
6. Mail boxes shall meet USPS specifications.
7. Driveway connections must meet Collin County specifications.
8. All roadway signs shall meet Collin County specifications.
9. Collin County will only maintain street signs and poles with materials currently approved and in use by Collin County Public Works.
10. Collin County does not, and will not accept street lights for maintenance or operation.
11. A road dedicated to the public may not be obstructed, including by means of a gate.
12. Blocking the flow of water, constructing improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
13. The existing creeks or drainage channels traversing along or across the subdivision will remain as open channels and will be maintained by individual owners of the lot or lots that are traversed by or adjacent to the drainage course along or across said lots.
14. Collin County will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion in said drainage ways.
15. Collin County will not be responsible for any damage, personal injury or loss of life or property occasioned by flooding or flooding conditions.
16. All surface drainage easements shall be kept clear of buildings, foundations, structures, plantings, and other obstructions to the operation, access and maintenance of the drainage facility.
17. Fences and utility appurtenances may be placed within the 100-year drainage easement provided they are placed outside the design-year floodplains, as shown on the plat.
18. All necessary Collin County authorizations (i.e. OSSF, flood plain permits, etc.) are required for building construction, on-site sewage facilities, and driveway culverts.
19. All private driveway tie-ins to a County maintained roadway, or roadway with expectations of being accepted into the County roadway network, must be even with the existing driving surface.
20. The finish floor elevations of all house pads shall be at least 18" above the highest elevation of the surrounding ground around the house after final grading and two feet (2') above the 100-year base flood elevation.
21. Except for ditches that are adjacent to Roadways and/or culverts and other improvements that are a part of a Roadway, the County generally will not accept drainage improvements for maintenance, including retention and detention ponds. Therefore, the Applicant must provide for this work to be done either by way of Restore the Grasslands HOA or Collin County MUD No. 7; by providing in the Deed Restrictions that each lot owner is responsible for maintaining the portions of the drainage improvements on or adjacent to their lot; or other method.
22. Individual lots in a Subdivision are considered part of a larger common plan of development, regardless of when construction activity takes place on that lot in relation to the other lots, and are required to have BMP's and comply with the Construction General Permit.
23. The Developer, Contractor, or Builder of any structure on a single lot in a developing subdivision shall prepare an SW3P and submit to the Director of Engineering prior to receiving any permits.
24. Detention pond and facilities will be maintained by Collin County MUD No. 7.
25. Collin County will not be responsible for maintenance or repairs of Centralized Mailboxes.
26. The maintenance of paving, grading and drainage improvements and/or easements shown on this plat are the responsibility of Collin County MUD No. 7.
27. All water and sanitary sewer utility easements shown hereon are hereby dedicated by this plat for the exclusive use of the City of Celina.
28. All drainage easements and right-of-way shown hereon are hereby dedicated by this plat for the exclusive use of Collin County MUD No. 7.
29. Lots ending with an "X" are non-residential lots. Maintenance of "X" lots shall be responsibility of the Restore the Grasslands HOA or Collin County MUD No. 7.
30. No vertical objects with a height of more than two (2) feet shall be placed inside the Sight Visibility Easements including fences, trees, shrubs, parked vehicles, mailboxes, above ground utility appurtenances, signs other than those necessary for traffic control and identification of roadway names, etc.
31. Cluster mailboxes shall be maintained by the HOA.
32. All homes/buildings must be equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3 of the 2024 International Fire Code (IFC).
33. All residential structures shall be fitted with multi-purpose sprinkler system.
34. For each lot that has a retaining wall built within this platted area, a 5' wall maintenance easement shall exist on the adjoining lot. See typical wall maintenance easement detail.
35. The owner of the lot on which a retaining wall is located owns the retaining wall and shall be responsible for maintaining or replacing the retaining wall on its lot.
36. Lots labeled with a singular X and labeled "X" shall be owned and maintained by the HOA / community association. Lots with double Xs, labeled "XX" shall be owned and maintained by Collin County mud no. 7.
37. Fence and maintenance for side yards adjacent to rights-of-way and key lots will be maintained by the homeowner(s) of the lot that the fence is located.
38. The streets and rights of ways are dedicated to the public for street purposes. Collin County Municipal Utility District No. 7 (the "District") will maintain the streets, sanitary sewer, sidewalks, barrier free ramps, signage, and striping within the rights-of-way.

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ELECTRIC COOPERATIVE  
PO Box 548  
Van Alstyne, TX 75495  
Phone: 903-482-7183

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COSERV  
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Phone: 940-321-7800

**WATER**  
COLLIN COUNTY MUD NO. 7  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**SANITARY SEWER**  
COLLIN COUNTY MUD NO. 7  
4514 Cole Avenue, Suite 1450,  
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**OWNER**  
RESTORE THE  
GRASSLANDS LLC  
8222 Douglas Avenue, Suite 300  
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**APPLICANT**  
BGE, Inc.  
Contact: Garrett Scoggins, P.E.  
Telephone: 972-464-4858  
Email: gscoggins@bgeinc.com

**SURVEYOR**  
BGE, Inc.  
2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBPELS Firm No. 10106500

Contact: Russ Tidwell, R.P.L.S.  
Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com

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WHEREAS, Restore the Grasslands LLC is the owner of that 100.725 acres (4,387,600 square feet) tract of land situated in the Phillip Anderson Survey, Abstract No. 10, in Collin County, Texas; being part of that tract of land described in Special Warranty Deed to Restore the Grasslands LLC as recorded in Instrument No. 2025000043664 of the Official Public Records of Collin County, Texas; said 100.725-acre tract of land being more particularly described by metes and bounds as follows:

COMMENCING, at 7 the southeast corner of that tract of land described in Affidavit of Facts Concerning Identity of Heirs to Eileen Noreen O'Conner Evans as recorded in Instrument No. 20151014001298720 of said Official Public Records; said point being the northwest corner of said Restore the Grasslands tract; said point being in the west right-of-way line of Farm-to-Market Road 2551; from said point a 5/8-inch iron rod with "SPARR SURVEYING" cap found bears North 26 degrees 40 minutes West, a distance of 0.7 feet;

THENCE, South 89 degrees 36 minutes 29 seconds East, departing the said west line of said Farm-to-Market Road 2551 with the south line of said Evans tract and a north line of said Restore the Grasslands tract, a distance of 266.08 feet to the POINT OF BEGINNING;

THENCE, South 00 degrees 33 minutes 25 seconds East, departing the south line of said Evans tract and the north line of said Restore the Grasslands tract; a distance of 233.72 feet to a 5/8-inch iron rod with "BGE" cap set for corner; said point being in a south line of said Restore the Grasslands tract; said point being in the north line of that tract of land described in Warranty Deed to Carpenter Farms, Ltd/ as recorded in Instrument No. 2002010300016820 of said Official Public Records;

THENCE, South 89 degrees 16 minutes 08 seconds West, with a south line of said Restore the Grasslands tract and the north line of said Carpenter Farms tract, a distance of 756.94 feet to a re-entrant corner in the south line of said Restore the Grasslands tract; said point being the northwest corner of said Carpenter Farms tract; from said point a 5/8-inch iron rod with "SPARR SURVEYING" cap found bears South 21 degrees 49 minutes West, a distance of 0.4 feet;

THENCE, South 00 degrees 08 minutes 22 seconds East, with an east line of said Restore the Grasslands tract and the west line of said Carpenter Farms tract, a distance of 359.81 feet to a 5/8-inch iron rod with "BGE" cap set for corner;

THENCE, South 89 degrees 58 minutes 48 seconds East, departing the east line of said Restore the Grasslands tract and the west line of said Carpenter Farms tract, a distance of 140.54 feet to a 5/8-inch iron rod with "ROOME" cap found for corner; said point being the northwest corner of that tract of land described in Special Warranty Deed to Margaret E. Moore as recorded in Instrument No. 20210322000561990 of said Official Public Records;

THENCE, South 00 degrees 09 minutes 16 seconds East, with the east line of Moore tract, a distance of 333.71 feet to a 5/8-inch iron rod found for the southwest corner of said Moore tract;

THENCE, North 89 degrees 58 minutes 48 seconds East, with the south line of Moore tract, at a distance of 130.53 feet passing the southeast corner of said Moore tract, continuing in all a total distance of 140.45' to a 5/8-inch iron rod with "BGE" cap set for corner in an east line of said Restore the Grasslands tract; said point being in the west line of said Carpenter Farms tract;

THENCE, South 00 degrees 08 minutes 22 seconds East, with the east line of said Restore the Grasslands tract and the west line of said Carpenter Farms tract, a distance of 294.29 feet to the southeast corner of said Restore the Grasslands tract; said point being the southwest corner of said Carpenter Farms tract; said point being in the north line of Block G, Rolling Ridge Estates Phase 2, an addition to Collin County, Texas according to the plat recorded in Volume 5313, Page 5182 of said Official Public Records;

THENCE, with the south line of said Restore the Grasslands tract, the following three (3) courses and distances:

South 89 degrees 31 minutes 31 seconds West, a distance of 921.72 feet to a point for corner;

South 89 degrees 32 minutes 13 seconds West, continuing with the said south line of Restore the Grasslands and the said north line of Rolling Ridge Estates Phase 2, at a distance of 189.17 feet passing the northwest corner of Rolling Ridge Estates Phase 2; said point being the northeast corner of Rolling Ridge Estates Phase 3, an addition to Collin County, Texas according to the plat recorded in Volume 6031, Page 2409 of said Official Public Records; passing at a distance of 610.64 feet the northwest corner of said Rolling Ridge Estates Phase 4; said point being the northeast corner of Rolling Ridge Estates Phase 3, an addition to Collin County, Texas according to the plat recorded in Volume 5694, Page 2014 of said Official Public Records, at a distance of 1,473.10 feet passing a point for corner for the northwest corner of said Rolling Ridge Estates Phase 3; said point being the northeast corner Rolling Ridge Estates Phase 5, an addition to Collin County, Texas according to the plat recorded in Volume 6034, Page 903 of said Official Public Records; continuing in all a total distance of 1,525.26 feet to a wood post found for corner;

South 89 degrees 49 minutes 48 seconds West, continuing with the said south line of Restore the Grasslands and the north line of said Rolling Ridge Estates Phase 5, a distance of 1,768.23 feet to a 1/2-inch iron rod with "ROOME" cap found for the southwest corner of said Restore the Grasslands tract; said point being the northwest corner of said

Rolling Ridge Estates Phase 5, said point being the northeast corner of that tract of land described as Tract 3 in Special Warranty Deed to Black Gold Stables, LLC as recorded in Instrument No. 2009012200067920 of said Official Public Records; said point being the southeast corner of that tract of land described in deed to Dillard Anderson Sharpe and Frances Hollowell Sharpe as recorded in Volume 4212, Page 942 of the Deed Records of Collin County, Texas;

THENCE, North 00 degrees 25 minutes 34 seconds West, with the west line of said Restore the Grasslands tract, a distance of 1,002.43 feet to a 1/2-inch iron rod with "ROOME" cap found for the northwest corner of said Restore the Grasslands tract; said point being in the east line of that tract of land described in Special Warranty Deed with Vendor's Lien to Swingin D Ranch, Ltd. as recorded in Volume 4615, Page 2249 of said Deed Records;

THENCE, departing the east line of said Swingin D tract, with the north line of said Restore the Grasslands tract, the following five (5) courses and distances:

South 89 degrees 56 minutes 58 seconds East, a distance of 1,390.33 feet to a 5/8-inch iron rod with "BGE" cap set for corner; said point being the southeast corner of Lot 3B, Ryan Place, an addition to Collin County according to the plat recorded in Volume 2008, Page. 619 of said Official Public Records; said point being the southwest corner of that tract of land described in General Warranty Deed to Valentin T. Trejo, Maria G. Trejo and Valentin Trejo Jr. as recorded in Instrument No. 20160713000896230 of said Official Public Records;

North 89 degrees 26 minutes 51 seconds East, a distance of 264.13 feet to a 5/8-inch iron rod with "BGE" cap set for corner; said point being the southeast corner of said Trejo tract; said point being the southwest corner of that tract of land described in Warranty Deed with Vendor's Lien to Parker Trails Estates LLC as recorded in Instrument No. 2023000117116 of said Official Public Records;

South 89°57'28" East, a distance of 525.62 feet to a point for corner; said point being the southeast corner of that tract of land described in Warranty Deed with Vendor's Lien to Charles Ho as recorded in Instrument No. 20170404000428690 of said Official Public Records; said point being the southwest corner of Lot 2, Block 1, Casa Pradera Addition, an addition to Collin County according to the plat recorded in Volume 2018, Page. 152 of said Official Public Records; from said point a 5/8-inch iron rod with unreadable cap bears North 80°48' West, a distance of 0.5';

North 89 degrees 46 minutes 57 seconds East, a distance of 236.66 feet to a 5/8-inch iron rod with "BGE" cap set for corner;

South 89 degrees 57 minutes 14 seconds East, a distance of 238.32 feet to a 1-inch axle found for corner; said point being a re-entrant corner in the north line of said Restore the Grasslands tract; said point being the southeast corner of said Lot 2;

THENCE, North 89 degrees 54 minutes 10 seconds East, departing the north line of said Restore the Grasslands tract, a distance of 328.41 feet to a 5/8-inch iron rod with "BGE" cap set for corner; said point being a re-entrant corner in the north line of said Restore the Grasslands tract; said point being the southwest corner of that tract of land described as Tract 1 in Special Warranty Deed to Gordon A. Viere and Diane L. Viere as recorded in Instrument No. 2022000149750 of said Official Public Records;

THENCE, with the north line of said Restore the Grasslands tract, the following four (4) courses and distances:

North 89 degrees 47 minutes 56 seconds East, a distance of 326.67 feet to a point for corner; said point being the southeast corner of said Viere; said point being the southwest corner of that tract of land described as Tract 2 in said Special Warranty Deed to Gordon A. Viere and Diane L. Viere; from said point a 1/2-inch iron rod found bears South 65°04' West, a distance of 0.4 feet;

North 89 degrees 37 minutes 49 seconds East, a distance of 677.14 feet to a point for corner; said point being a re-entrant corner in the north line of said Restore the Grasslands tract; said point being the southeast corner of that tract of land described as Tract 1 in General Warranty Deed to Anthony R. Hernandez and Laura R. Hernandez as recorded in Instrument No. 20180731000949840 of said Official Public Records;

North 00 degrees 41 minutes 58 seconds West, a distance of 244.50 feet to a fence post found for corner and the east line of said Hernandez Tract 1; said point being the southwest corner of that tract of land described as Tract 2 in said General Warranty Deed to Anthony R. Hernandez and Laura R. Hernandez;

North 89 degrees 36 minutes 29 seconds East, a distance of 992.48 feet to the POINT OF BEGINNING and containing an area of 100.725 acres or 4,387,600 square feet of land, more or less.

STATE OF TEXAS §  
COUNTY OF COLLIN §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Restore the Grasslands LLC acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as RESTORE THE GRASSLANDS, an addition to Collin County Municipal Utility District No. 7 and does hereby dedicate to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. That Restore the Grasslands LLC does herein certify the following:

- The streets and alleys, if any, are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications are free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated, for the public use forever, for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements.
- Utility easements may be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's use thereof.
- The public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements.
- The public utilities shall at all times have the full right of ingress and egress to or from their respective easement for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.
- The owners of the lots adjacent to or upon which drainage easements are created by this plat or the homeowner's association will be responsible for the maintenance and or the reconstruction of the drainage improvements constructed in said easements for the purpose of assuring the flow of storm water to the degree required by the design and original construction.
- Collin County will not be responsible for maintenance or repair of drainage improvements on private lots or adjacent thereto.
- Collin County shall have the full right of ingress and egress to or from a drainage easement if necessary to maintain or repair the effect the drainage system in that easement is having on the use and maintenance of a roadway and the drainage systems of the roadway.
- Roadways of the Subdivision are public roads and neither applicant or any future owner has the right to obstruct the Roadways by a fence, gate, or otherwise.
- All modifications to this document shall be by means of plat and approved by Collin County.
- This plat is subject to the Subdivision Regulations of Collin County, Texas.
- The streets and rights of ways are dedicated to the public for street purposes. Collin County Municipal Utility District No. 7 (the "District") will maintain the streets, sanitary sewer, sidewalks, barrier free ramps, signage, and striping within the rights-of-way.

#### CERTIFICATION OF COLLIN COUNTY COMMISSIONERS COURT

I hereby certify that the attached and foregoing Final Plat of RESTORE THE GRASSLANDS to Collin County, Texas was approved by the vote of the Collin County Commissioners Court on the \_\_\_\_ day of \_\_\_\_\_, 2026 at a meeting held in accordance with the Texas Open Meetings Act. This approval does not create an obligation upon Collin County for the construction and/or maintenance of any roads or other improvements shown of the Final Plat.

Chris Hill  
Collin County Judge

Witness, my hand, this \_\_\_\_ day of \_\_\_\_\_, 2026.

BY: Restore the Grasslands LLC,

By: \_\_\_\_\_  
Name: Phillip Huffines,  
Owner

On the \_\_\_\_ day of \_\_\_\_\_ in the year 2026, before me, the undersigned notary public, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/ executed the same in his capacity as the Authorized Signatory of Restore the Grasslands LLC, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public  
My Commission Expires: \_\_\_\_\_

By: Collin County Municipal Utility District No. 7

Name:  
Title:

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, State of Texas  
My commission expires: \_\_\_\_\_

#### SURVEYOR'S CERTIFICATION

I am a Registered Professional Land Surveyor licensed by the State of Texas. This Plat is a true and accurate representation of the property described and platted hereon as determined by an actual survey made on the ground under my direction and supervision.

The property is partially within the 100 year floodplain.

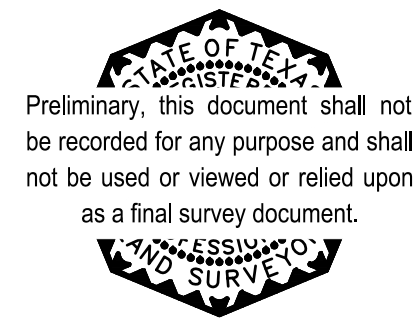
By: Released for client review purposes only on May 21, 2026.  
Printed Name: Russell M. Tidwell II  
R.P.L.S. Number: 7142

SUBSCRIBED AND SWORN TO BEFORE ME THIS

\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, State of Texas

My commission expires: \_\_\_\_\_



Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

**ELECTRIC**  
GRAYSON-COLLIN  
ELECTRIC COOPERATIVE  
PO Box 548  
Van Alstyne, TX 75495  
Phone: 903-482-7183

**GAS**  
COSERV  
PO Box 734803  
Corinth, TX 76210  
Phone: 800-321-7800

**WATER**  
COLLIN COUNTY MUD NO. 7  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**SANITARY SEWER**  
COLLIN COUNTY MUD NO. 7  
4514 Cole Avenue, Suite 1450,  
Dallas, TX 75205  
Phone: 972-357-8810

**OWNER**  
RESTORE THE  
GRASSLANDS LLC  
8222 Douglass Avenue, Suite 300  
Dallas, TX 75225  
Phone: 214-460-3621

**APPLICANT**  
BGE, Inc.  
2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
Telephone: 972-464-4858  
Email: gscoggins@bgeinc.com

BEING 101.802 ACRES SITUATED IN THE  
PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10  
COLLIN COUNTY, TEXAS  
MAY 2026  
SHEET 12 OF 12

**SURVEYOR**  
BGE, Inc.  
2595 Dallas Parkway, Suite 101, Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBPELS Firm No. 10106500

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Telephone: 817-618-5694 • Email: rtidwell@bgeinc.com